



**Jack Hollander  
& Associates, Inc.**  
Architecture Planning Interiors

May 21, 2013

Mr. Santos H. Kreiman, Director  
Department of Beaches & Harbors  
Design Control Board  
13483 Fiji Way, Trailer #3  
Marina Del Rey, CA 90292

Attn: Ismael Lopez

Re: THE MARINA GATEWAY  
Parcel 95  
Marina Del Rey

The following is a project description of The Marina Gateway, located on Parcel 95, in Marina Del Rey. The project is located on the south side of Washington Boulevard and extends from Via Marina Avenue on the east to Via Dolce Avenue on the west. This project was designed to include several components. The Project is located in Visitor Serving Convenience Commercial zone. On the east side, at the intersection of Washington Boulevard and Via Marina, on parcel LLS, we have designed a park complementing another park across Via Marina on parcel 97, which we have previously presented to the Design Control Board. This project combines retail and restaurants functions.

There are currently 4 buildings on this site. Three of the structures will be demolished. The Islands restaurant, located on the west side of the property, will remain and will continue to operate during construction. The project is surrounded by multistory structures. On the south side of the alley we find a three story apartment project set on a hillside with their first story over 20 feet above the alley. A parking structure is also located across the alley on the southeast side of the project. Also on the other side of Washington Boulevard we find the Marina Towers, an eight story structure. Another eight story structure is located across Via Dolce Avenue and Washington Boulevard.

We propose two new structures on the east side of the property designated as Buildings A and B. The Island's restaurant will be designated as building C. A public park will be built on the adjoining property at the intersection of Washington Boulevard and Via Marina as part of the development. An Existing parking lot serving the Islands restaurant will remain but the existing landscaping will be improved. The following is a description of the proposed project.

## Building A

Building A which was located adjacent to the intersection of Via Marina and Washington Boulevard was designed to anchor the project adjacent to the park. The building was designed to appear as a two story structure. Unlike other centers featuring a similar façade over the entire building exteriors, we varied the façade with structures of different heights, various exteriors finishes and windows to provide interest. Two towers were placed at each building corner, The façade includes various materials such as stone veneer and smooth plaster. Precast trim complements the copper dome at the corner. The exterior of the building was enhanced by awnings in some areas in order to introduce color and texture. Stone veneer was also incorporated with pre-cast trim to differentiate each store with the columns extending to the roof eave above. A coffee shop was located at the east side with glazing overlooking the new park. We feel many visitors stopping at the park can purchase a drink and sit and enjoy the adjacent park.

The park itself would provide a wonderful background for the coffee shop. Building A will be 5,747 square feet.

## Building B

Building B façade is articulated in similar fashion to Building A. The exteriors include a variety of materials, shapes, height, fenestration, etc. On the east side we have designed a tower with copper dome. A different tower was placed on the west side with balcony above the entry, making it looks like a two story structure in appearance. Window shutters and pre-cast details give the building an upscale look. Stone veneer was used extensively to provide contrast to the smooth plaster used on other parts of the building. Entrances to stores are of different height to provide interest. Awnings and cantilered metal canopies greatly enhance the elevations. Tile roof and stone columns were also added in the rear facing the alley. Building B will be 11,296 square feet.

## Building C

The existing Building C currently serves the Island Restaurant. The Building façade featuring rough sawn wood siding and flat concrete roofing is clearly outdated. We felt it was important to make the building look similar to the two proposed new structures. We have proposed the following:

1. Replace existing tile roof to match new Buildings A and B
2. Replace wood siding with smooth plaster
3. Create a new tower to be located at the intersection of Via Dolce Ave.



## Lighting Concept

The goal of the exterior lighting is for the building façade and landscape to be expressed in a dramatic and sophisticated way. To accomplish this, the majority of light sources will be hidden from view, highly shielded and unobtrusive, with only the decorative fixtures visible. The building lighting will feature critical elements of the façade and provide sufficient lighting for safety. Up-lighting provided at towers emphasize the details of the building.

## Landscape Concept

The landscape planting design is laid out to reflect the tropical nature of the plantings that currently exist in the Marina area. Palms are used for accents and design rhythm. Flowering Crepe Myrtle and New Zealand Christmas trees are integrated into the design for annual flowering color. The shrubbery is chosen also for its flowering color and foliage texture. Where in ground planting is not possible, containers are used for both trees and shrubbery roof patio area and the residential balconies that face the alley side will also be planted with container planting. The plaza paving will be interlocking concrete pavers, colored and layed in varying design patterns to provide contrast and interest in texture.

## The Public Park

For the past several years there has been an initiative to provide a public park on Parcel LLS at the southwest corner of Washington Boulevard and Via Marina. This proposal provides for the park to be developed on the site. This park will complement another new park across Via Marina on Parcel 97 that was built as part of the redevelopment of that parcel. Gold Coast West and Gold Coast Shopping Center are committing to develop at no cost to the country of Los Angeles.

On the Southeast corner of Washington and Via Marina, it is the project's intent to provide a public park area that is reflective of the existing public corner across the street to the Southwest. This park is of a design that layers the planting and provides seating, privacy and protection from the busy traffic of Washington Boulevard. The theme is circular in its design with a raised platform for public performances with surround seating facing the platform. Surrounding this seating are raised planters protecting and screening the users with flowering Crape Myrtles and Canary Island Palms. The paving patterns also reflect the circular design, radiating from the center of the park area, outward to the park's edges. At the corner facing the intersection on a diagonal, is a sign area naming the park and is accented by groups of Queen Palms, lawn and pink flowering India Hawthorn. The intent of the park is to create a public area and serve as an anchor/focal point for the project.

The park will include such amenities as a fountain to serve as a focal point with amphitheater seating around a circular shaped paved area. A permanent circular stage was provided so musicians and other performers can use to entertain visitors to the park. The park will be lit and step lights will be provided at the amphitheater. Palm trees will also be used to tie in with the landscaping of the rest of the project.

Our office, as well as our landscape architect, intend to work closely with members of the DCB to provide an attractive environment for the project. If you have any additional questions please do not hesitate to call. We are confident that we have designed a project which will greatly enhance this area of the Marina and will bring additional visitor serving activities to the Marina.

Sincerely,

A handwritten signature in dark ink, reading "Jack Hollander". The signature is written in a cursive, flowing style.

Jack Hollander AIA, ARA

# *Marina Gateway*

PARCEL-95

404, 444 & 480 WASHINGTON BOULEVARD  
MARINA DEL REY, CALIFORNIA

OWNER  
GOLD COAST WEST L.L.C.  
13737 FIJI WAY, C-10  
MARINA DEL REY, CA 90292







BUILDING-A  
*Marina Gateway, Parcel-95*





BUILDING-B  
*Marina Gateway, Parcel-95*



VIA DOLCE AVENUE

WASHINGTON

BOULEVARD

SCALE 1" = 20'

LINE

SHT 2

MATCH

SEE

LEGEND

AC	ASPHALTIC CONCRETE
BB	BUS BENCH
BC	BEGINNING OF CURB
BLD	BUILDING
BS	BOTTOM OF STAIRS
BW	BACK OF WALK
CB	CATCH BASIN
CLF	CHAIN LINK FENCE
ERX	ELECTRIC BOX
EUC	EUCALYPTUS
EVL	ELECTRIC VAULT
DRWY	DRIVEWAY
FL	FIRE HYDRANT
FLW	FLOWLINE
GM	GAS METER
HCRMP	HANDICAP RAMP
PLM	PALM
PLNTR	PLANTER
PLR	PILLAR
PM	PARKING METER
SDMH	STORM DRAIN MANHOLE
SN	SEWER MANHOLE
SN	SIGN
STL	STREET LIGHT
STLB	STREET LIGHT BOX
SWRCD	SEWER CLEANOUT
SWRVL	SEWER VAULT
T	TOP OF X
T	TREE
TBX	TELEPHONE BOX
TC	TOP OF CURB
THR	THRESHOLD
TMH	TELEPHONE MANHOLE
TPMH	TOP OF MANHOLE
TS	TRAFFIC SIGNAL LIGHT
TSBK	TRAFFIC SERVICE BOX
UTCO	UTILITY CLEANOUT
UTL	UTILITY
UR	UTILITY RISER
UWLT	UTILITY VAULT
TRANS	TRANSFORMER
TS	TOP OF STAIRS
WOF	WOOD FENCE
WM	WATER METER
WV	WATER VALVE

LINE TABLE		
NO.	DELTA	R
D1	N36°00'30"W	100.02'
D2	N36°00'56"W	80.59'

CURVE TABLE			
NO.	DELTA	R	L
C1	91°18'42"	19.00'	30.28'

DATE OF SURVEY

AUGUST 01, 05

SITE ADDRESS

WASHINGTON BLVD., MARINA DEL REY, CA.

BENCH MARK

WIRE SPK IN S CURB WASHINGTON ST; 34.2 FT E. OF  
C/L PROD BEACH AVE; E END CB  
BASELINE QUAD (1975) ELEV. = 5.21  
Y 08670

LEGAL DESCRIPTION

THE LAND REFERRED TO IN THIS REPORT IS SITUATED  
IN THE STATE OF CALIFORNIA, COUNTY OF LOS  
ANGELES AND IS DESCRIBED AS FOLLOWS:

PARCEL A:

MARINA DEL REY LEASE PARCEL NO. 955

PARCELS 370 THROUGH 377 INCLUSIVE, AS SHOWN ON  
LOS ANGELES COUNTY ASSESSOR'S MAP NO. 88,  
RECORDED IN BOOK 1 PAGES 53 TO 70 INCLUSIVE OF  
ASSESSOR'S MAPS, IN THE OFFICE OF THE COUNTY  
RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THAT PORTION THEREOF WHICH  
LIES NORTHEASTERLY OF A LINE WHICH BEARS AT  
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PARCEL B:

A RIGHT OF WAY FOR INGRESS AND EGRESS TO BE  
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SAID MAP, WHICH LIE NORTHWESTERLY OF A LINE  
PARALLEL WITH AND 200 FEET SOUTHEASTERLY,  
MEASURED AT RIGHT ANGLES, FROM THE  
NORTHWESTERLY LINE OF SAID PARCEL 362.

EASEMENT NOTES:

THE EASEMENT SHOWN ON THIS TOPOGRAPHIC SURVEY ARE PLOTTED FROM  
FIDELITY NATIONAL TITLE COMPANY POLICY NO. 9890387 DATED JULY 11, 2005

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INSTRUMENT NO. 4076 IN BOOK D891, PAGE 599, OFFICIAL RECORDS, AND  
AS DELINEATED ON L.A.C.A. MAP NO. 88, RECORDED IN ORDINANCE NO.  
119293, ORDERING THE VACATION ON BEACH AVENUE AND OTHER STREETS,  
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27, 1980 AS INSTRUMENT NO. 4077 IN BOOK D891, PAGE 603, OFFICIAL  
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- A WATERLINE EASEMENT 25'X30' AS PROVIDED IN THE INSTRUMENT  
RECORDED DECEMBER 30, 1980 AS INSTRUMENT NO. 3192 BOOK D1078,  
PAGE 986 OF OFFICIAL RECORDS, AND AS DELINEATED ON L.A.C.A. MAP  
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SOUTHEASTERLY 5 FEET OF SAID LAND AS RESERVED IN THE LEASE, AS  
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NO. 2529.

CS-1



PLANS PREPARED UNDER THE DIRECTION OF

06 SEP. 05  
RON KOESTER LS 5930 EXP 12/31/2006 DATE

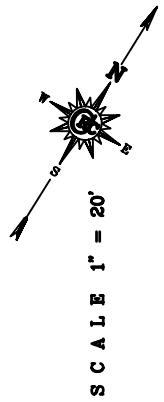
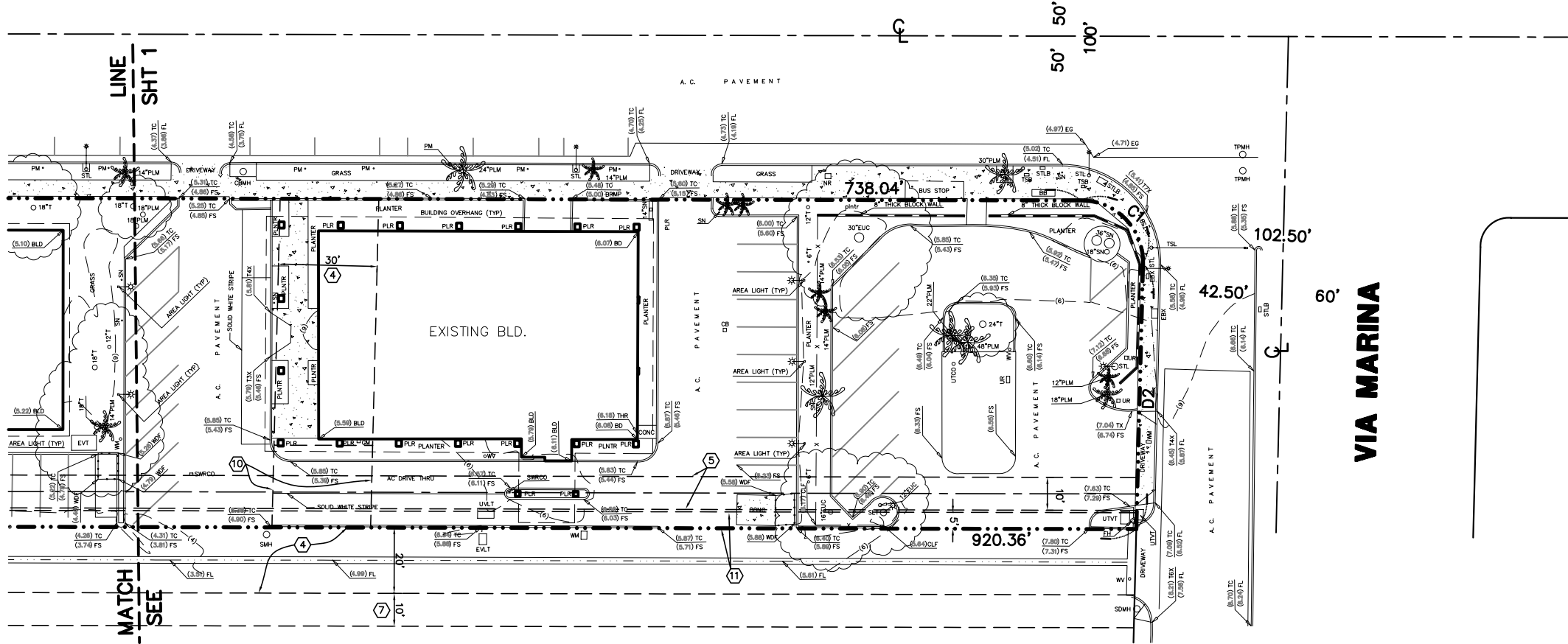
TOPOGRAPHIC SURVEY

PREPARED FOR  
PACIFIC COAST MANAGEMENT  
13575 MUNDANAO WAY  
MARINA DEL REY, CA 90292  
c/o Mr. Michael Peshale

CRC Enterprises  
27800 Bouquet Canyon Road Suite 200 Santa Clarita Ca. 91350  
Telephone (661) 297-2336 FAX (661) 297-2331

WASHINGTON

BOULEVARD



LEGEND

AC	ASPHALTIC CONCRETE
BB	BUS BENCH
BC	BEGINNING OF CURB
BLD	BUILDING
BS	BOTTOM OF STAIRS
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CS-2



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**CRC Enterprises**  
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MARINA DEL REY, CA 90292  
c/o Mr. Michael Peshale

TOPOGRAPHIC SURVEY

SHEET 2 OF 2 SHEET

CRC 2089

PROJECT ANALYSIS

BUILDING ANALYSIS

EXISTING BUILDING AREA:

BLDG. 1 (BANK)	7500 S.F.	(TO BE DEMOLISHED)
BLDG. 2 (RETAIL/OFFICES)	4584 S.F.	(TO BE DEMOLISHED)
BLDG. 3 (RETAIL/OFFICES)	4546 S.F.	(TO BE DEMOLISHED)
BLDG. 4 (ISLAND'S REST.)	5713 S.F.	(TO BE REMAIN)
TOTAL BUILDING AREA:	22343 S.F.	

PROPOSED BUILDING AREA:

BLDG. A (5744 S.F.)	
SPACE 101 COFFEE SHOP	1,747 S.F.
SPACE 102-106 RETAIL	3,947 S.F.
BLDG. B RETAIL (10475 S.F.)	
SPACE 107 RETAIL	1,872 S.F.
SPACE 108-116 RETAIL	9,103 S.F.
BLDG. C (ISLAND'S REST.)	5,713 S.F.
TOTAL BUILDING AREA:	22,432 S.F.

PARKING ANALYSIS

PARKING REQUIRED:

BLDG. A: SPACE 101- COFFEE SHOP (1,747 S.F. w/18 FIXED SEATS)	
DINING: 22 SEATS/3 OCC.	= 7.3 SPACES
KITCHEN: 1000/2000'S OCC.	= 1.66 SPACES
BLDG. A: SPACE 102-106: RETAIL	5,947/250 S.F.
	= 15.78 SPACES
BLDG. B: 107-116 RETAIL	10,475/250 S.F.
	= 43.9 SPACES
EXISTING BLDG. C (ISLAND'S REST.)	= 6.4 SPACES (PER PLAN, DEPT.APPROVAL)
TOTAL PARKING REQUIRED	= 132.64 SPACES

PARKING PROVIDED:

REGULAR SPACES	= 122 SPACES
HANDICAP SPACES	= 8 SPACES
TOTAL:	= 130 SPACES

BICYCLE PARKING ANALYSIS

BICYCLES PARKING REQUIRED:

SHORT TERM (1 SPACE/ 5,000 SQ.FT.)	
(22,432/5,000) SQ.FT.	= 4.44 SPACES
LONG TERM (1 SPACE/ 12,000 SQ.FT.)	
(22,432/12,000) SQ.FT.	= 1.87 SPACES
	= (2 MIN.) SPACES
TOTAL REQUIRED	= 6.44 SPACES, SAY 7 SPACES

BICYCLES PARKING PROVIDED:

BICYCLE LOCKERS	= 2 SPACES
BICYCLE RACKS	= 16 SPACES
TOTAL PROVIDED	= 18 SPACES

TOTAL ALLOWABLE REDUCTION OF PARKING SPACES BASED ON BICYCLE PARKING PROVIDED:  
(1) EXTRA BICYCLES OR 5 PARKING SPACES REDUCTION

PARKING SPACES REQUIRED:

(132.64 - 5)	= 127.64 SPACES
TOTAL PARKING PROVIDED	= 130 SPACES
	130 > 127.64

PROJECT ANALYSIS

BUILDING ELEMENT	SQ. FT.	NO OF STORIES	CONSTR. TYPE	OCC. GROUP	SPRINKLER
BUILDING A	5,744	1	V N	M, B	YES
BUILDING B	10,475	1	V N	M	YES
BUILDING C	5,713	1	V N	A2	YES

BLDG. A & B:

ALLOWABLE AREA WITH TYPE V-N FULLY SPRINKLERED, ONE STORY CONSTRUCTION.  
BASED ON SECTION 507.3 OF THE CODE = UNLIMITED

BUILDING CODE ANALYSIS BASED ON TABLE 503

FOR M OCCUPANCY, ALLOWABLE BUILDING AREA FOR TYPE V CONSTRUCTION  
BASIC ALLOWABLE AREA: 9,000 SQ.FT.

ALLOWABLE AREA INCREASE FOR ONE STORY STRUCTURES: 300 PERCENT: 9,000 X 3 = 27,000 SQ.FT.

FOR BUILDING A = 5,744 SQ. FT. < 27,000 SQ. FT. OK

FOR BUILDING B = 10,475 SQ. FT. < 27,000 SQ.FT. OK

SECTION 507.3 ALSO STATED FOR M OCCUPANCY BUILDING ONE STORY WITH AUTOMATIC SPRINKLER SYSTEM SHALL NOT BE LIMITED

OCCUPANT LOAD ANALYSIS PER TABLE 1004.1.1  
BUILDING A (B & M OCCUPANCY)

SPACE	OCCUPANT LOAD
SPACE 101	
AREA A (KITCHEN)	1000/200 = 5
AREA B (DINING)	22 FIXED SEATS = 22
SPACE 102	785/30 = 26.16
SPACE 103	785/30 = 26.16
SPACE 104	785/30 = 26.16
SPACE 105	785/30 = 26.16
SPACE 106	807/30 = 26.9
TOTAL	158

BUILDING B (M OCCUPANCY)

SPACE	OCCUPANT LOAD
SPACE 107	1872/30 = 62.4
SPACE 108	1015/30 = 33.83
SPACE 109	1015/30 = 33.83
SPACE 110	1015/30 = 33.83
SPACE 111	1015/30 = 33.83
SPACE 112	1015/30 = 33.83
SPACE 113	1015/30 = 33.83
SPACE 114	1015/30 = 33.83
SPACE 115	1015/30 = 33.83
SPACE 116	983/30 = 32.76
TOTAL	366

TABLE - OCCUPANT LOAD FACTOR BASED ON PLUMBING CODE AND TABLE 4.4  
BUILDING A (B & M OCCUPANCY)

SPACE	OCCUPANT LOAD	RESTROOMS REQUIRED	RESTROOMS PROVIDED
SPACE 101	1747/200 = 8.93		
SPACE 102	785/200 = 3.93		
SPACE 103	785/L = 3.93		
	= 3.93		
	= 4.035		

	= 4.36		
	= 5.075		
	= 5.075		
	= 5.075		
	= 5.075		
	= 5.075		
CE 115	1015/200 = 5.075		
SPACE 114	1015/200 = 5.075		
SPACE 115	1015/200 = 5.075		
SPACE 116	983/200 = 4.915		

ABBREVIATIONS

A	AND	L	LINEN
∠	ANGLE	L.A.	LANDSCAPED AREA
AT	AT	LAB.	LABORATORY
∅	CENTERLINE	LAM.	LAMINATE
Ø	DIAMETER OR ROUND	LAV.	LAVATORY
⊥	PERPENDICULAR	LBG.	POUNDS
L	LEFT HAND	L.H.	LEFT HAND
PL	PLATE, PROPERTY LINE	LCK.	LOCKER
A.B.	ANCHOR BOLT	LRM.	LIVING ROOM
A/C	AIR CONDITIONING	LTH.	LIGHT
A.C.	ASPHALTIC CONCRETE	LUM.	LUMINOUS
ACQBS.	ACQUISITION	MACH.	MACHINE
A.D.	AREA DRAIN	MAINT.	MAINTENANCE
ADH.	ADHESIVE	MAS.	MASONRY
ADJ.	ADJUSTABLE	MAT.	MATERIAL
AL.	ALUMINUM	MAX.	MAXIMUM
ALT.	ALTERNATE	MB.	MASTER BATH
ANOD.	ANODIZED	MBR.	MASTER BEDROOM
AP.	ACCESS PANEL	M.C.	MEDICINE CABINET
APPROX.	APPROXIMATELY	MESH.	MECHANICAL
ARCH.	ARCHITECTURAL	MEB.	MEMBRANE
ASB.	ASBESTOS	MET.	METAL
ASBY.	ASSEMBLY	MEZZ.	MEZZANINE
AUTO.	AUTOMATIC	MFR.	MANUFACTURER
B.	BROOM CLOSET, BATH	M.H.	MAN HOLE
BD.	BOARD	MIN.	MINIMUM
BET.	BETWEEN	MIR.	MIRROR
BITEM.	BITUMINOUS	MISC.	MISCELLANEOUS
BLDG.	BUILDING	M.O.	MASONRY OPENING
BLK.	BLOCK	MOSA.	MOSAIC
BLKS.	BLOCKING	MTD.	MOUNTED
BM.	BEAM	MUL.	MULLION
BOT.	BOTTOM	N.	NORTH
BR.	BEDROOM	NAT.	NATURAL
B.W.	BACK OF WALK	N.I.G.	NOT IN CONTRACT
C.	COMPACTOR	NG.	NATURAL GRADE
CAB.	CABINET	NO.	NUMBER
C.B.	CATCH BASIN	NOM.	NOMINAL
CEM.	CEMENT	N.T.S.	NOT TO SCALE
CER.	CERAMIC	O.	OVEN
C.S.	CORNER GAUGE	O.A.	OVER
CHAN.	CHANNEL	O/O.	OVERALL
CHG.	CHANGE	OB.	OBSOLETE
C.I.	CAST IRON	OB.	OBSOLETE
C.J.	CONTROL JOINT, CONSTRUCTION JOINT	O.D.	OUTSIDE DIAMETER (DIMENSION)
CLG.	CEILING	O.F.D.	OVERFLOW DRAIN
CLKG.	CALKING	OFF.	OFFICE
CLO.	CLOSET	OPNG.	OPENING
CLR.	CLEAR	OPP.	OPPOSITE
CNTR.	COUNTER	P.	PANTRY
COMP.	COMPOSITION	P.	PERIMETER
CNG.	CONCRETE	FL.	FLATE
COND.	CONDITION	P. LAM.	PLASTIC LAMINATE
CON.	CONNECTION	PLAS.	PLASTER
CONSTR.	CONSTRUCTION	PLUMB.	PLUMBING
CONT.	CONTINUOUS	PLYND.	PLYWOOD
CONTR.	CONTRACTOR	PAINT. (ED)	PAINT (ED)
CORR.	CORRELOR	FR.	FAIR
CPT.	CARPET	FRM.	POWDER ROOM
C.T.	COOK TOP	PROJ.	PROJECTION
CTK.	COUNTERSUNK	PT.	POINT
CTR.	CENTER	P.T.D.	PAPER TONEL DISPENSER
D.	DEEP/DRYER	P.T.D.#R.	COMBINATION PAPER TONEL DISPENSER
DBL.	DOUBLE	PTN.	PARTITION
DEPT.	DEPARTMENT	P.T.R.	PAPER TONEL RECEPTACLE
DET.	DETAIL	Q.T.	QUARRY TILE
D.F.	DRINKING FOUNTAIN	R.	RISER
DIA.	DIAMETER	R.A.	RETURN AIR
DIAG.	DIAGONAL	RAD.	RADIUS
DIM.	DIMENSION	R.D.	ROOF DRAIN
DISP.	DISPOSER	R.D.L.	ROOF DRAIN LEADER
DN.	DOWN	RECPT	RECEPTACLE
D.O.	DOOR OPENING	RECT.	RECTANGULAR
DR.	DOOR	REF.	REFERENCE
D.R.M.	DINING ROOM	REFR.	REFRIGERATOR
D.S.	DOWN SPOUT	REG.	REGISTER
D.S.P.	DRY STAND PIPE	REIN.	REINFORCEMENT
DH.	DISHWASHER	REQD.	REQUIRED
DWG.	DRAWING	RESIL.	RESILIENT
DWR.	DRAWER	RET.	RETAINING, RETURN
E.	EAST, ENTRY	R.H.	RIGHT HAND
EA.	EACH	RM.	ROOM
E.L.	EXPANSION JOINT	R.O.	ROUGH OPENING
EL.	ELEVATION	RWD.	REDWOOD
ELEC.	ELECTRIC	S.	SOUTH
ELEV.	ELEVATOR	S.A.	SUPPLY AIR
EMER.	EMERGENCY	S.C.	SOLID CORE
ENCL.	ENCLOSURE	S.C.D.	SEAT COVER DISPENSER
E.P.	ELECTRICAL PANEL	SCHED.	SCHEDULE
EQ.	EQUAL	S.D.	SUB DRAIN/SOAP
EQFT.	EQUIPMENT	SEC.	SECTION
EKG.	ELECTRIC WATER COOLER	SH.	SHELF
EXST.	EXISTING	SHR.	SHOWER
EXH.	EXHAUST	SHT.	SHEET
EXP.	EXPANSION	SHTG.	SHEATHING
EXPD.	EXPOSED	SH.	SIMILAR
EXT.	EXTERIOR	SK.	SINK
F.	FIXED	S.L.	SCORE LINE
F.A.	FIRE ALARM	S.N.R.	SANITARY NAPKIN
F.B.	FLAT BAR	S.N.V.	SANITARY NAPKIN
F.C.O.	FLOOR CLEAN OUT	VEND.	VENDOR
F.D.	FLOOR DRAIN	SPEC.	SPECIFICATION
FDN.	FOUNDATION	SQ.	SQUARE
F.E.	FIRE EXTINGUISHER	S.S.	STAINLESS STEEL
F.E.C.	FIRE EXTINGUISHER CABINET	S.S.K.	SERVICE SINK
F.F.	FINISH	STA.	STATION
F.H.	FLAT HEAD	STD.	STANDARD
F.H.C.	FIRE HOSE CABINET	STL.	STEEL
F.H.E.G.	FIRE HOSE & EXTINGUISHER CABINET	STOR.	STORAGE
FIN.	FINISH	STRUCT.	STRUCTURAL
FIX.	FIXTURE	SUSP.	SUSPENDED
FLASH.	FLASHING	SYM.	SYMMETRICAL
FLR.	FLOOR	T.	TREAD
FLUOR.	FLUORESCENT	T.B.	TOYEL BAR
F.O.C.	FACE OF CONCRETE	T.C.	TOP OF CURB
F.O.F.	FACE OF FINISH	T.C.L.	TIME CLOCK
F.O.H.C.	FACE OF HEART CENTER	TEL.	TELEPHONE
F.O.M.	FACE OF MASONRY	TEMP.	TEMPERED
F.O.S.	FACE OF STUD	TERR.	TERRAZO
FP.	FIREPLACE	T. & G.	TONGUE & GROOVE
FRFR.	FIREPROOF	THK.	THICK
F.S.	FLOOR SINK	T.P.	TOP OF PAVING
FT.	FOOT OR FEET	T.P.L.	TOP OF PLATE
FTG.	FOOTING	T.P.D.	TOILET PAPER DISPENSER
FURN.	FURNISHING	T.SHTG.	TOP OF SHEATHING
FURN.	FURNISHED	TRANS.	TRANSFORMER
FUT.	FUTURE	T.J.	TOP OF WALL
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED	U.	UNDER
G.B.	GRAB BAR	U.B.C.	UNIFORM BUILDING CODE
GEN.	GENERAL	UL.	UNDERWRITER'S LABORATORY
G.F.I.	GROUND FAULT INTERRUPT	UNF.	UNFINISHED
GI.	GALVANIZED IRON	U.O.N.	UNLESS OTHERWISE NOTED
GL.	GLASS	UR.	URINAL
GL.B.	GLU-LAM BEAM	V.A.T.	VINYL ASBESTOS TILE
GR.	GRADE	VEND.	VENDING
GYP.	GYPSUM	VENT.	VENTILATING
H.	HIGH	VERT.	VERTICAL
H.B.	HOSE BIB	VEST.	VESTIBULE
H.C.	HOLLOW CORE	V.T.R.	VENT THROUGH ROOF
HD.	HARD	V.V.C.	VINYL WALL COVERING
HWYD.	HARDWARE	W.	WEST, WIDE, WIDTH
HT.	HEIGHT	W.	WASH
H.M.	HOLLOW METAL	W.	WITH
HORIZ.	HORIZONTAL	W.	WATER CLOSET
HR.	HOLE	WD.	WOOD
HVAC.	HEATIN VENTILATING & AIR CONDITIONING	WH.	WATER HEATER
I.D.	INSIDE DIAMETER (DIMENSION)	W.I.	WROUGHT IRON
IN.	INCH	N.I.C.	NAIL IN CLOSET
INSUL.	INSULATION	N.R.	NATURAL RESISTANT
INT.	INTERIOR	N.S.	NET STANDPIPE
INV.	INVERTED	N.S.P.	NATURAL RESISTANT
JAN.	JANITOR	N.S.P.	NATURAL RESISTANT
JO.	JOINT	N.S.P.	NATURAL RESISTANT
JST.	JOIST	N.S.P.	NATURAL RESISTANT

SHEET INDEX

ARCHITECTURAL

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SCALE:

LEGAL DESCRIPTION

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:  
MARINA DEL REY LEASE PARCEL NO. 455

PARCELS 370 THROUGH 377 INCLUSIVE, AS SHOWN ON LOS ANGELES COUNTY ASSESSOR'S MAP NO. 88, RECORDED IN BOOK 1 PAGES 33 TO 39 INCLUSIVE OF ASSESSOR'S MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THAT PORTION THEREOF WHICH LIES NORTHEASTERLY OF A LINE WHICH BEARS AT RIGHT ANGLES TO THE SOUTHEASTERLY LINE OF SAID PARCEL 377, AND WHICH PASSES THROUGH A POINT IN SAID SOUTHEASTERLY LINE DISTANT SOUTHWESTERLY THEREON 100.00 FEET FROM THE THE EASTERLY CORNER OF SAID LAST MENTIONED PARCEL.

ALSO EXCEPTING THEREFROM THAT PORTION THEREOF WHICH LIES WITHIN THE SOUTHWESTERLY 10 FEET OF SAID PARCEL 370.

PARCEL 2:  
A RIGHT OF WAY FOR INGRESS AND EGRESS TO BE USED IN COMMON WITH OTHERS OVER THOSE PORTIONS OF PARCEL 362 TO 364 INCLUSIVE, AS SHOWN ON SAID MAP, WHICH LIE NORTHWESTERLY OF A LINE PARALLEL WITH AND 200 FEET SOUTHEASTERLY, MEASURED AT RIGHT ANGLES, FROM THE NORTHWESTERLY LINE OF SAID PARCEL 362.

CONSULTANTS

ARCHITECT	CIVIL ENGINEER	STRUCTURAL
JACK HOLLANDER & ASSOCIATES, INC. P.O.BOX 6970 BEVERLY HILLS, CA 90212 PH : 310-205-0440 FAX: 310-205-0441	BREEN ENGINEERING INC. 1983 WEST 190TH STREET SUITE 200 TORRANCE, CA 90504 PH : 310-464-8404 FAX: 310-464-8408	ENGLEKIRK PARTNERS 3621 HARBOR BOULEVARD SUITE 125 SANTA ANA, CA 92704 PH : 714-557-8551 FAX: 714-557-5530
LANDSCAPE ARCHITECT	SURVEY	M.E.P.
PETER D. BRANDON & ASSOCIATES, INC. 20301 SOUTHWEST BIRCH ST. SUITE 102 NEWPORT BEACH, CA 92660 PH : 949-261-6066 FAX: 949-261-6064	CRC ENTERPRISES 27600 BOUQUET CANYON ROAD SUITE 200 SANTA CLARITA, CA 91350 PH : 661-297-2336 FAX: 661-297-2331	DAVIDOVICH & ASSOCIATES 6059 BRISTOL PARKWAY SECOND FLOOR CULVER CITY, CA 90230 PH : 310-348-5101 FAX: 310-348-5102

ARCHITECT

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REVISION

DATE	DESCRIPTION
6/19/12	BUILDING DEPT.
11/21/12	2ND SUBMITTAL

ISSUED FOR

DATE	BUILDING DEPT.
6/19/12	BUILDING DEPT.
11/21/12	2ND SUBMITTAL

PROJECT

MARINA GATEWAY  
PARCEL-95  
WASHINGTON BOULEVARD  
MARINA DEL REY, CALIFORNIA

ARCHITECT

JACK HOLLANDER & ASSOCIATES, INC.  
Architecture Planning Interiors

SHEET TITLE

GENERAL NOTES  
SHEET INDEX  
PROJECT ANALYSIS  
ETC.

JOB NO

0915

DRAWN BY

J.T.

APPROVED BY

-

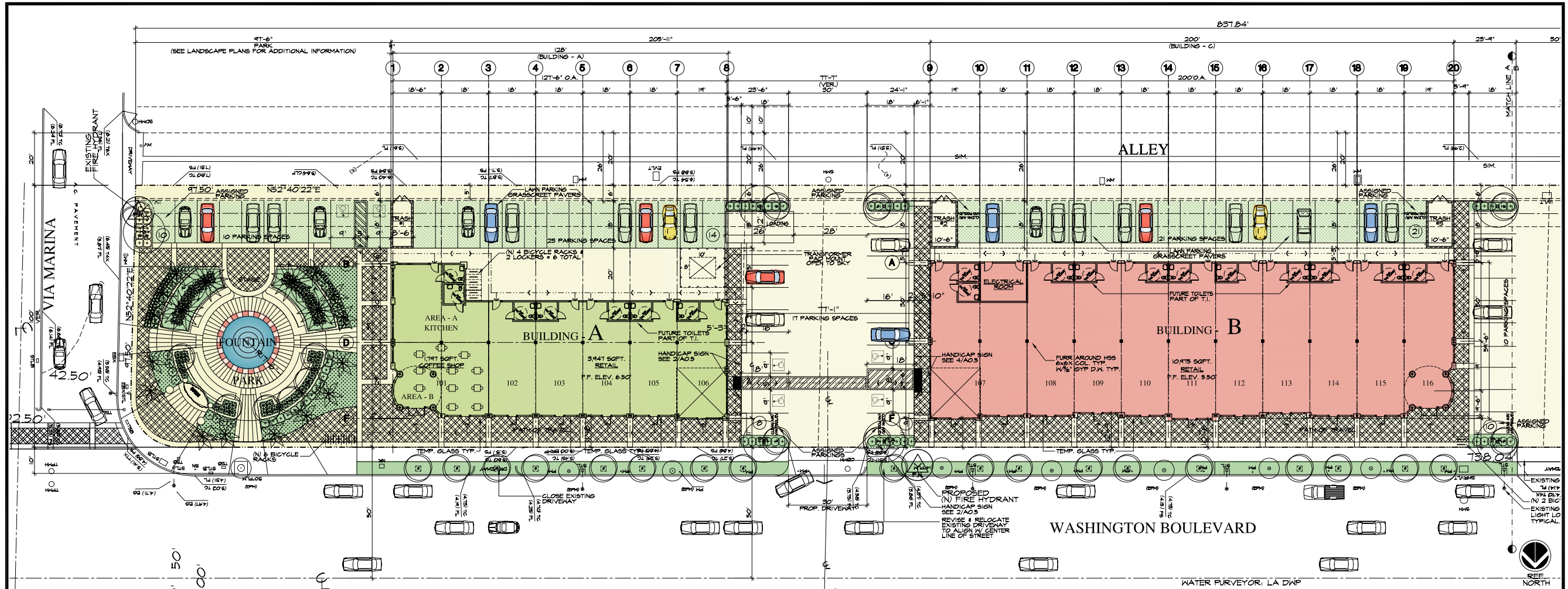
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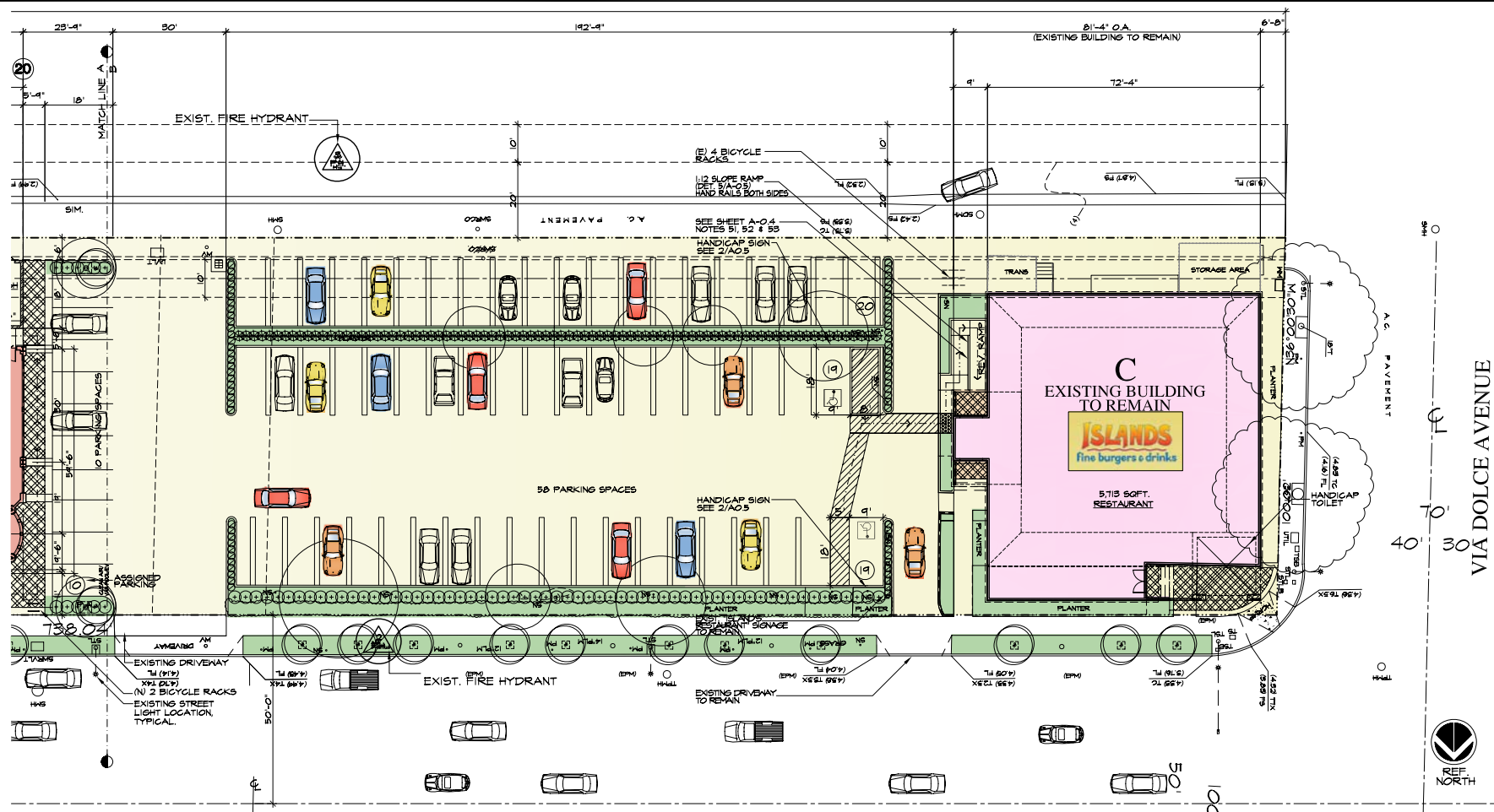








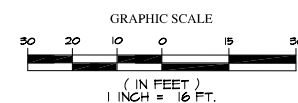
PARTIAL GROUND FLOOR PLAN (SEE SHEET A-2.1 FOR ADDITIONAL INFORMATION)



PARTIAL GROUND FLOOR PLAN (SEE SHEET A-2.1 FOR ADDITIONAL INFORMATION)

NOTE:  
SEE STRUCTURAL PLANS FOR FOOTING AND  
SHEETS C4.0 AND C4.1 FOR GRADING

APPLICANT: Gold Coast West LLC.  
ADDRESS: 13737 Fiji Way Suite C-10,  
Marina Del Rey, CA 90292  
TELEPHONE NO. 310-822-8866  
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DATE	REVISION
1/10/15	(E) STRUCT. TO REMAIN
6/14/12	BUILDING DEPT.
5/17/12	DRP
11/21/12	PLANNING DEPT.
11/21/12	2ND SUBMITTAL

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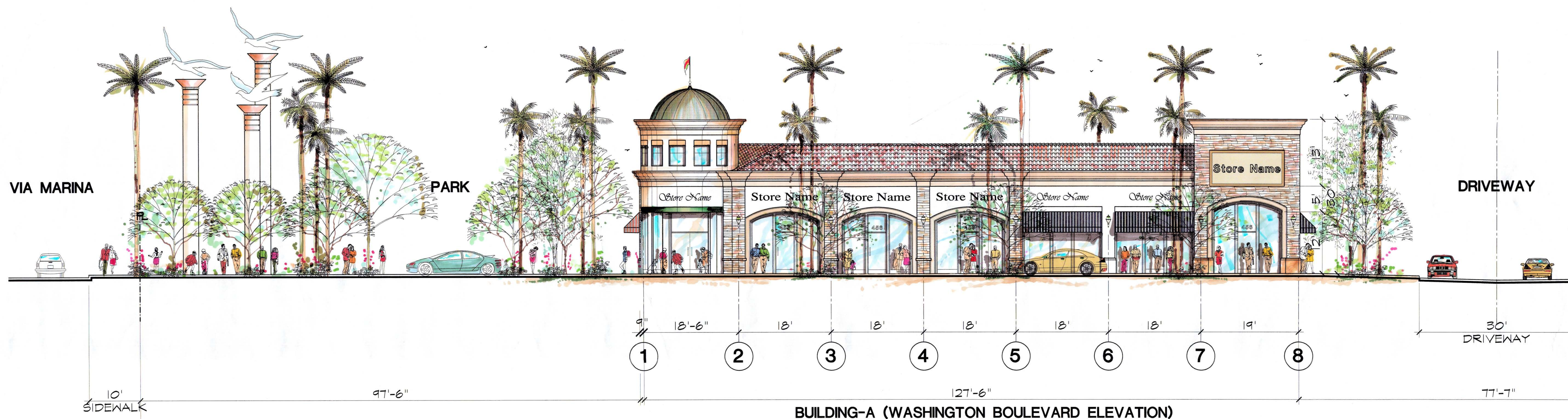
**PROJECT**  
MARINA GATEWAY  
PARCEL-95  
404, 444, 460 WASHINGTON BOULEVARD  
MARINA DEL REY, CALIFORNIA  
APN: 4224-003-010

**SHEET TITLE**  
GROUND FLOOR PLAN  
**SCALE**  
1/16" = 1'-0"  
**JOB NO**  
0915  
**DRAWN BY**  
J.T. R.F.  
**APPROVED BY**  
-  
**SHEET NO**  
A-2









# MARINA GATEWAY PARCEL-95

WASHINGTON BOULEVARD  
MARINA DEL REY, CALIFORNIA

Jack Hollander  
& Associates, Inc.  
Architecture Planning Interiors

A-4

BUILDING A & B - NORTH ELEVATION  
SCALE: 1/8"=1'-0"





BUILDING A - WEST ELEVATION

SCALE: 1/8"=1'-0" A



BUILDING A - EAST ELEVATION

SCALE: 1/8"=1'-0" B



BUILDING B - WEST ELEVATION

SCALE: 1/8"=1'-0" C



BUILDING B - EAST ELEVATION

SCALE: 1/8"=1'-0" D

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REVISION

DATE

ISSUED FOR

DATE

**Jack Hollander & Associates, Inc.**  
Architecture Planning Interiors

PROJECT  
MARINA GATEWAY  
PARCEL-95  
WASHINGTON BOULEVARD  
MARINA DEL REY, CALIFORNIA

SHEET TITLE  
ELEVATIONS

JOB NO 9912

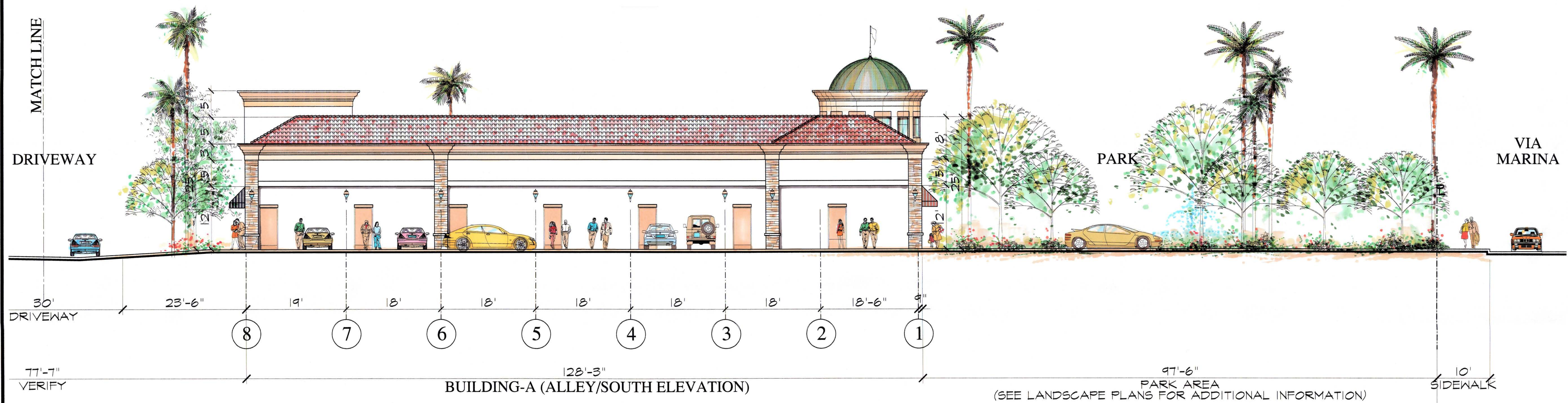
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SHEET NO

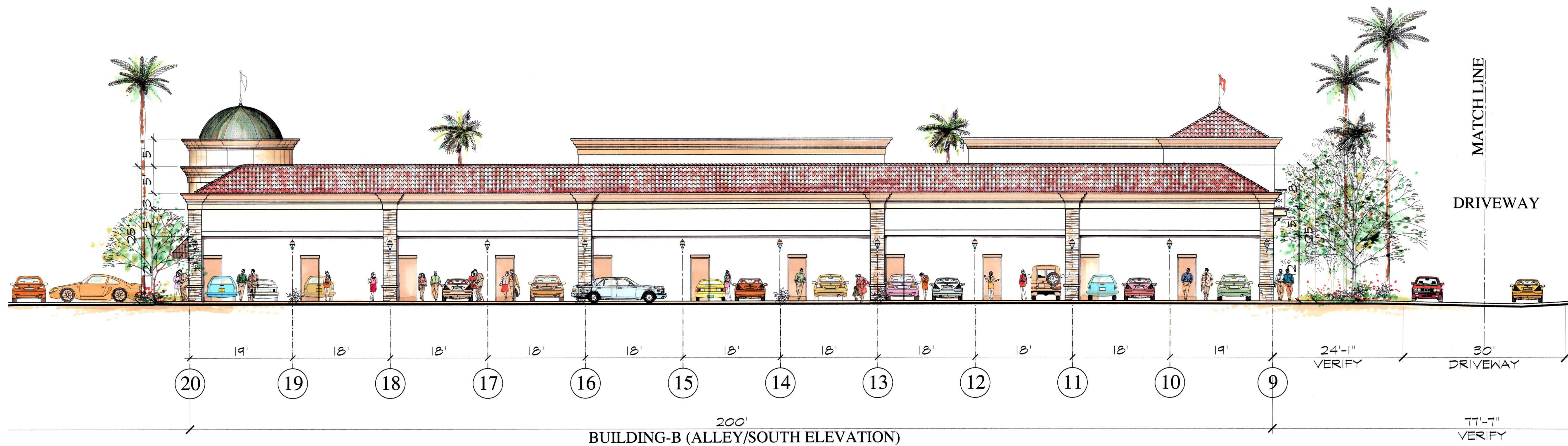
A-5





BUILDING A - SOUTH ELEVATION (FROM ALLEY)

SCALE: 1/8" = 1'-0" A



BUILDING B - SOUTH ELEVATION (FROM ALLEY)

SCALE: 1/8" = 1'-0" B

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REVISION	DATE	ISSUED FOR	DATE

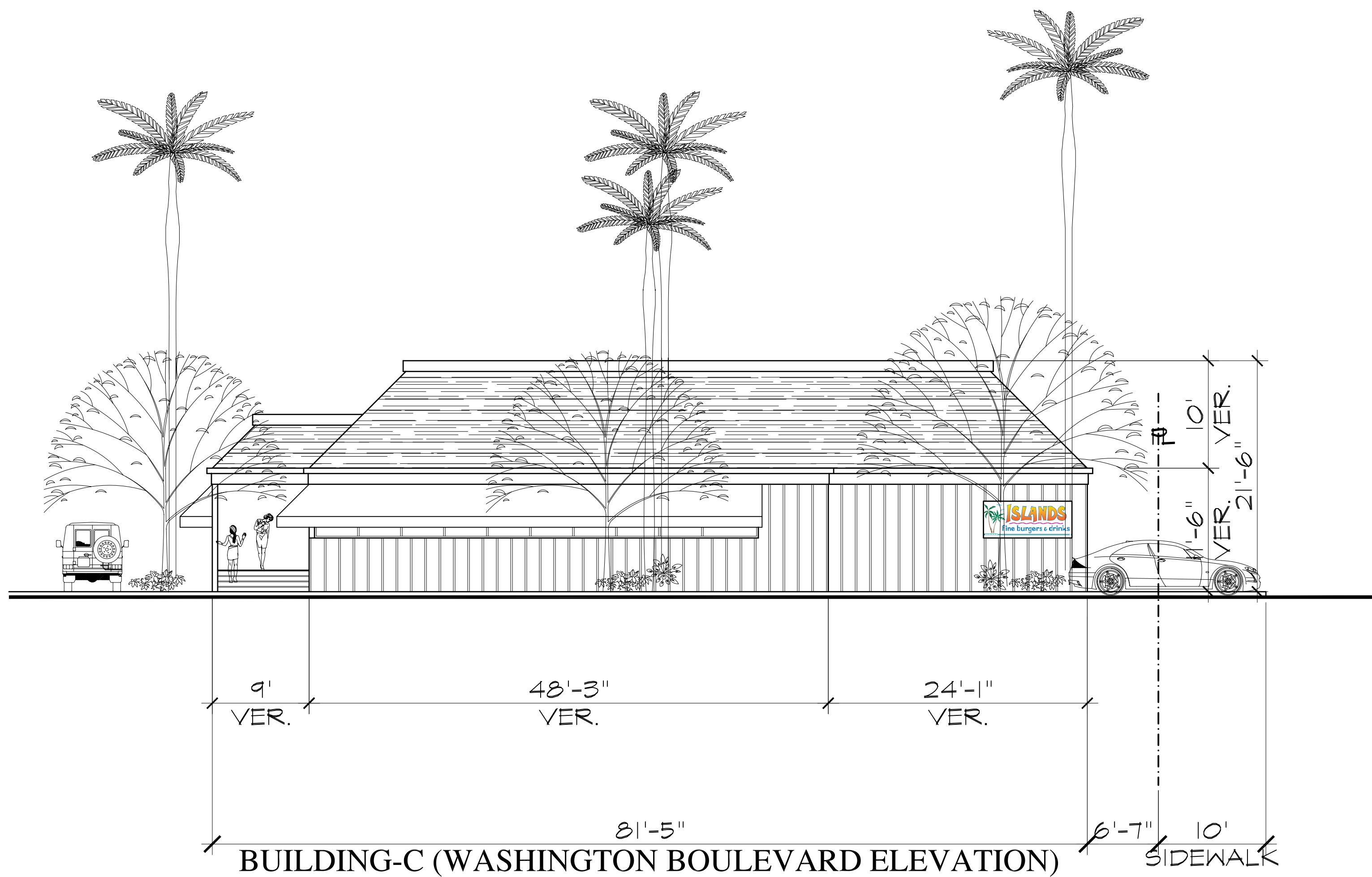
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Architecture Planning Interiors

PROJECT  
MARINA GATEWAY  
PARCEL-95  
WASHINGTON BOULEVARD  
MARINA DEL REY, CALIFORNIA

SHEET TITLE  
ELEVATIONS

JOB NO 9912  
DRAWN BY J.T.  
APPROVED BY -  
SHEET NO  
**A-6**

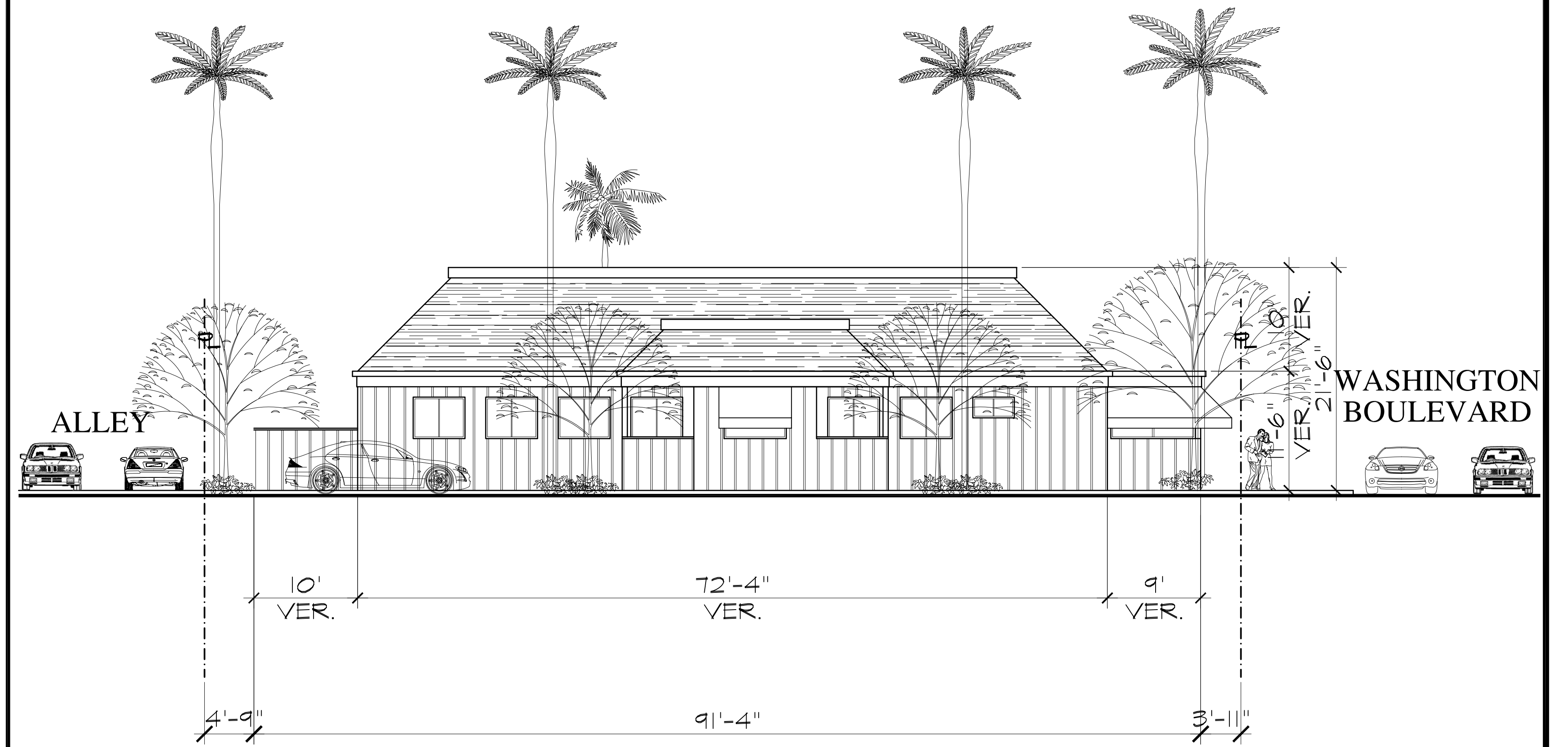




BUILDING C (ISLAND'S RESTAURANT) - EXISTING NORTH ELEVATION

SCALE: 1/8"=1'-0"

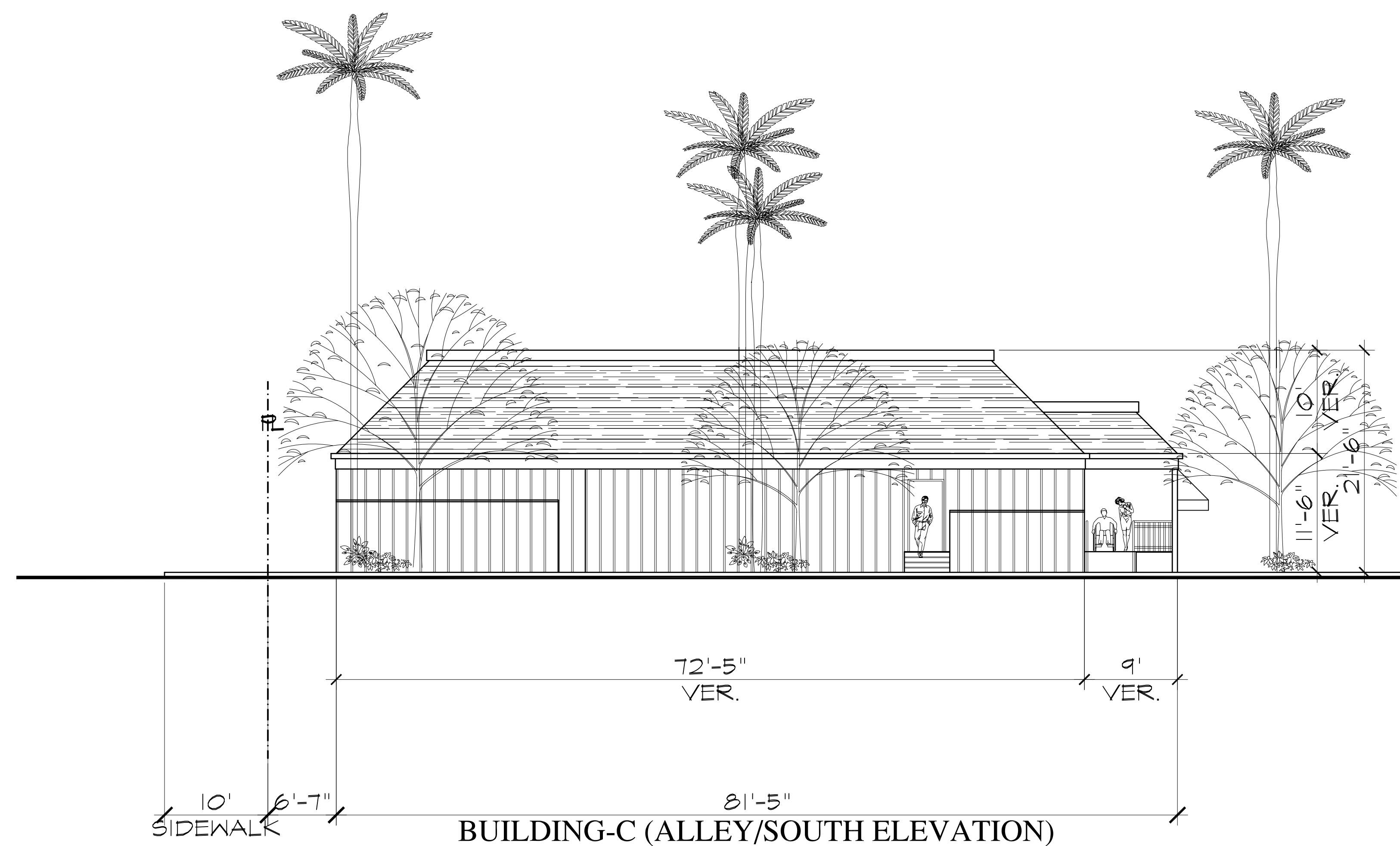
A



BUILDING C (ISLAND'S RESTAURANT) - EXISTING EAST ELEVATION

SCALE: 1/8"=1'-0"

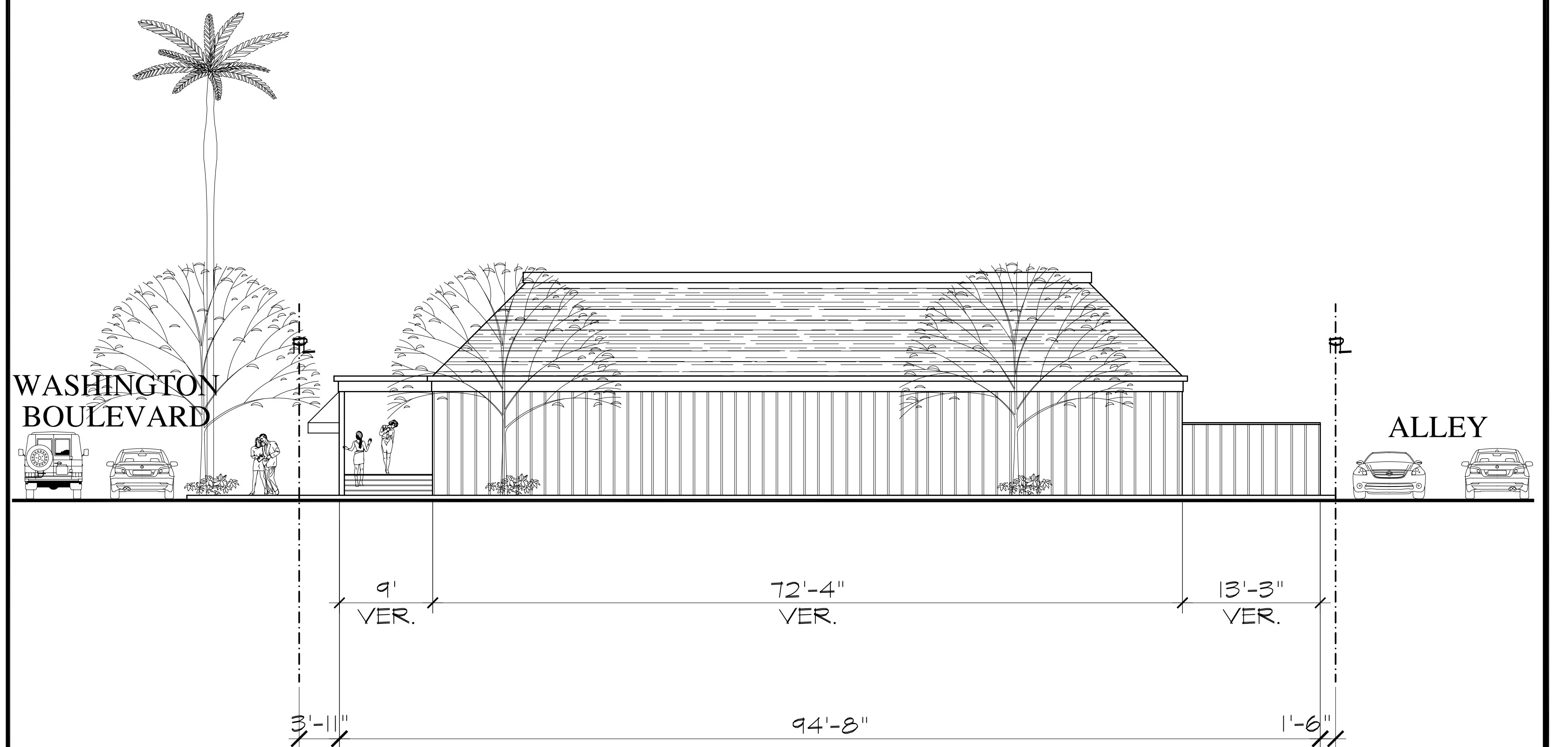
B



BUILDING C (ISLAND'S RESTAURANT) - EXISTING SOUTH ELEVATION

SCALE: 1/8"=1'-0"

C



BUILDING C (ISLAND'S RESTAURANT) - EXISTING WEST ELEVATION

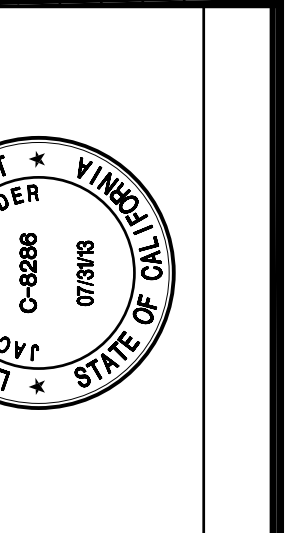
SCALE: 1/8"=1'-0"

D

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ARCHITECT  
REVISION  
DATE

ISSUED FOR  
DATE



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Architecture Planning Interiors

**PROJECT**  
MARINA GATEWAY  
PARCEL-95  
WASHINGTON BOULEVARD  
MURRIA DEL REY, CALIFORNIA

**SHEET TITLE**  
EXISTING  
BUILDING - C  
ELEVATIONS

**JOB NO** 9912

**DRAWN BY** J.T.

**APPROVED BY** -

**SHEET NO**

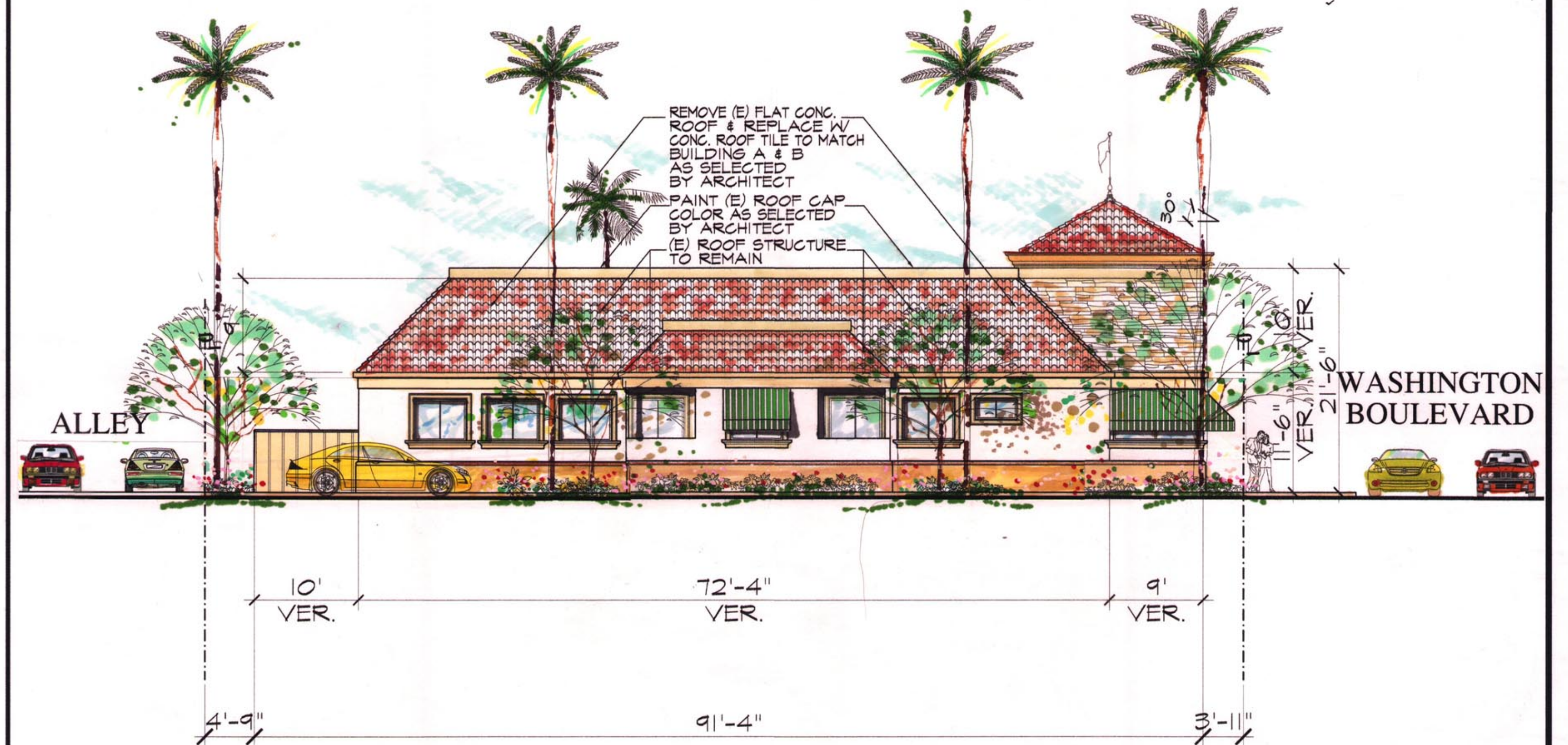
**A-7**





BUILDING C (ISLAND'S RESTAURANT)- PROPOSED NORTH ELEVATION

SCALE: 1/8"=1'-0"



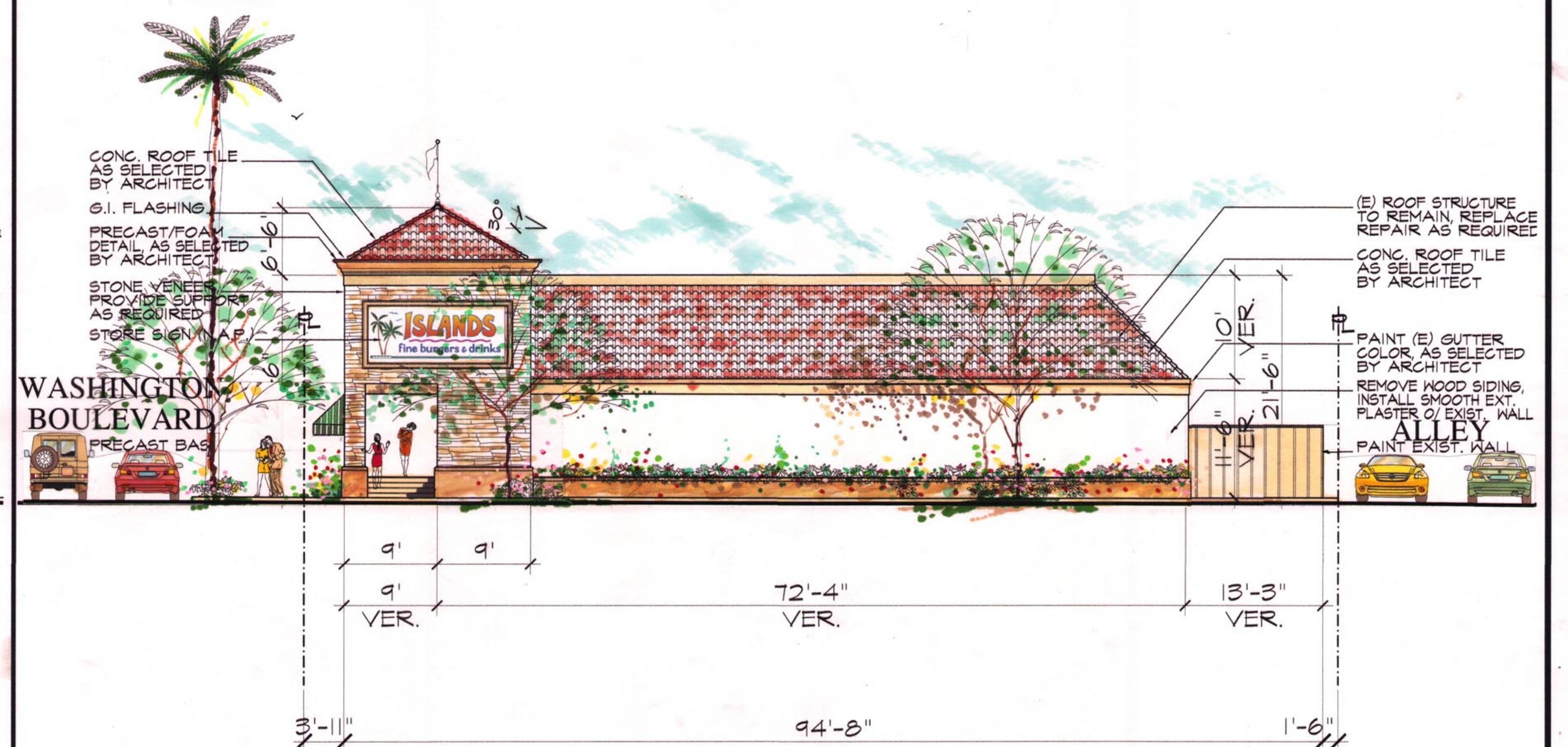
BUILDING C (ISLAND'S RESTAURANT)- PROPOSED EAST ELEVATION

SCALE: 1/8"=1'-0"



BUILDING C (ISLAND'S RESTAURANT)- PROPOSED SOUTH ELEVATION

SCALE: 1/8"=1'-0"



BUILDING C (ISLAND'S RESTAURANT)- PROPOSED WEST ELEVATION

SCALE: 1/8"=1'-0"

APPLICANT: Gold Coast West LLC.  
ADDRESS: 13737 Fiji Way Suite C-10, Marina Del Rey, CA 90292  
TELEPHONE NO. 310-822-6866  
ARCHITECT: Jack Hollander & Associates, Inc.  
ADDRESS: P.O. Box 6970, Beverly Hills CA 90210  
TELEPHONE NO. 310-205-0440  
WEBSITE: www.jackhollander.com  
E-MAIL ADDRESS: jackhollander@adeipha.net

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REVISION  
DATE  
6/14/12 BUILDING DEPT.  
6/17/12 RDP  
6/27/12 PLANNING DEPT.  
11/21/12 2ND SUBMITTAL

PROJECT  
MARINA GATEWAY  
PARCEL-95  
404 444 480 WASHINGTON BOULEVARD  
MARINA DEL REY, CALIFORNIA  
APN : 4224 005 970

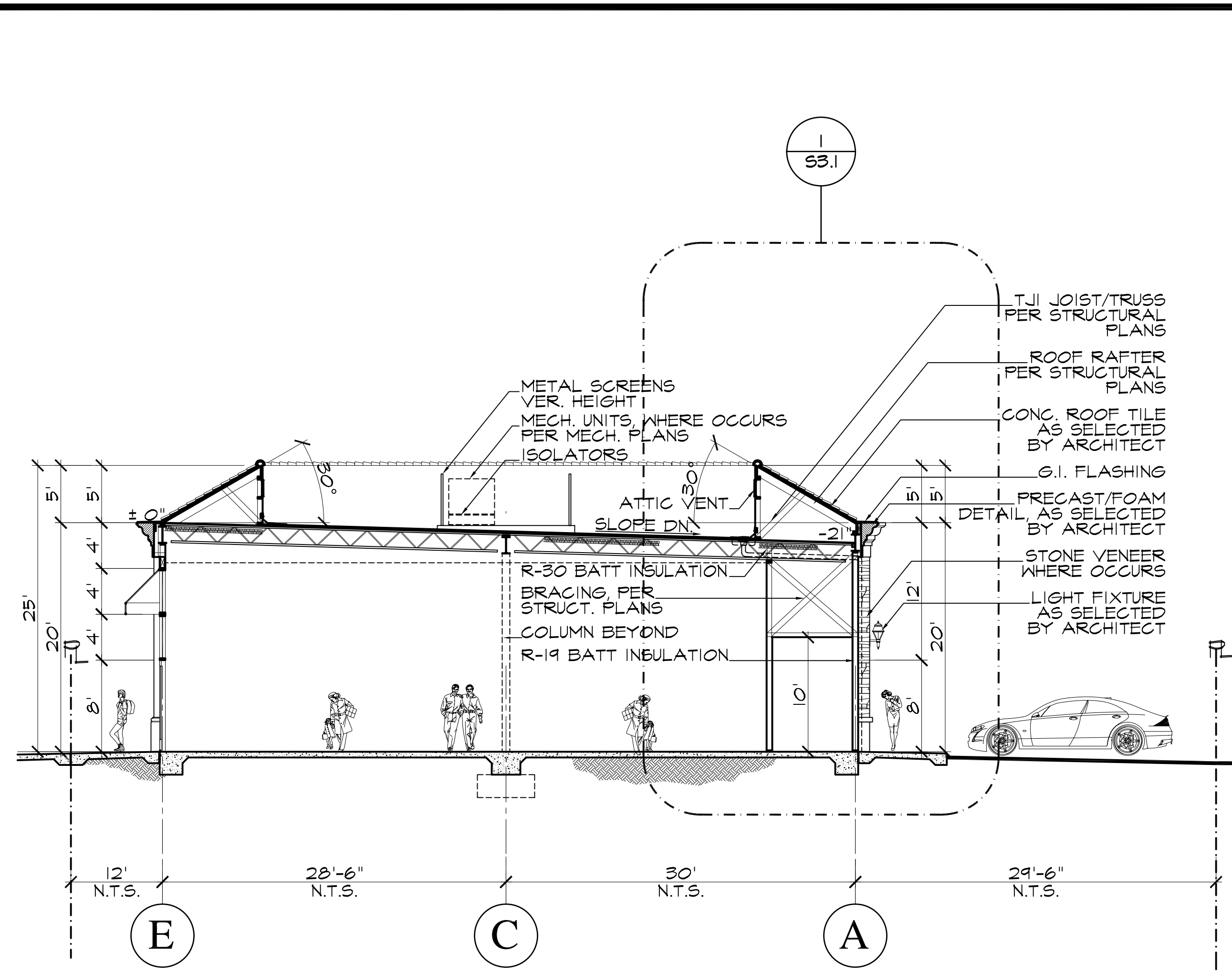
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Architecture Planning Interiors

SHEET TITLE  
PROPOSED  
BUILDING - C  
ELEVATIONS

JOB NO. 0415  
DRAWN BY J.T.  
APPROVED BY  
SHEET NO.

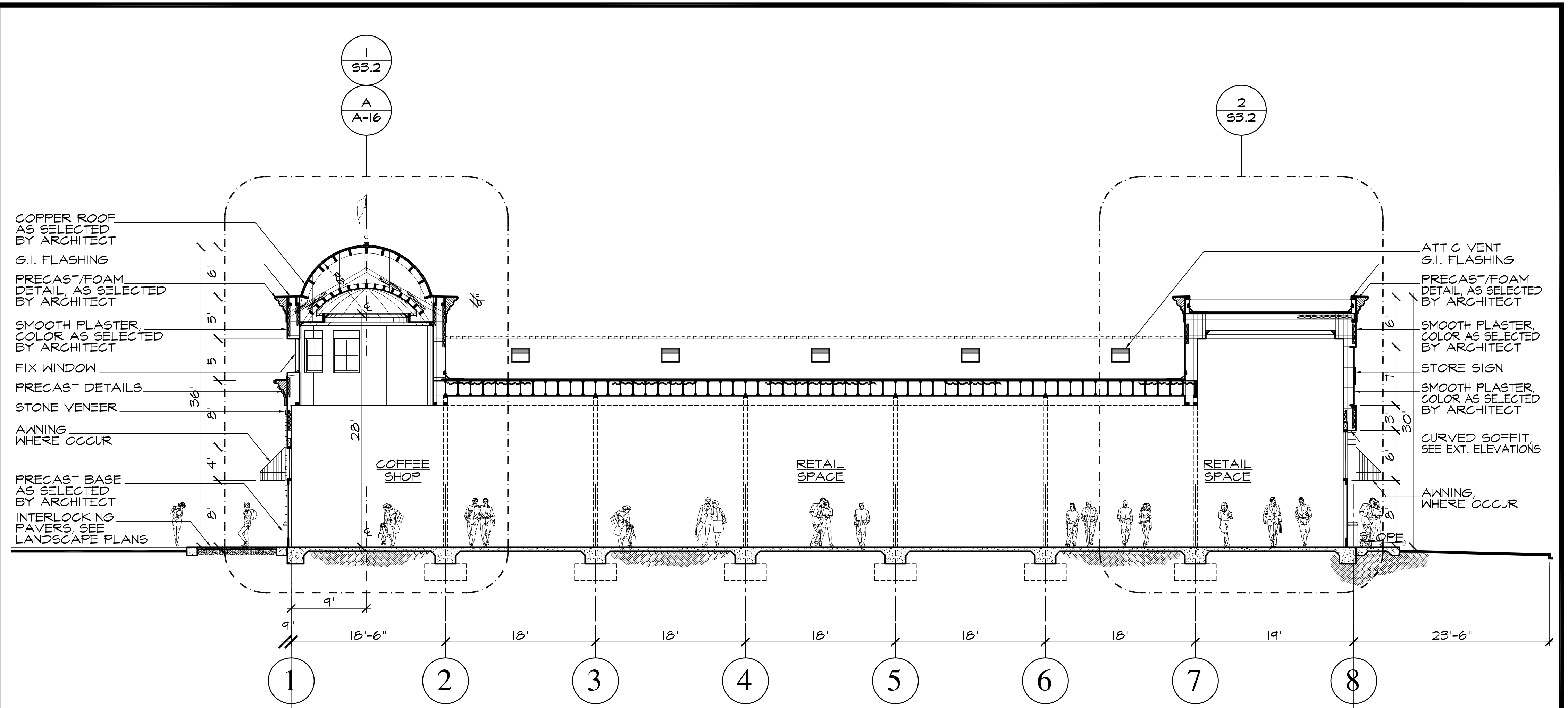
A-8





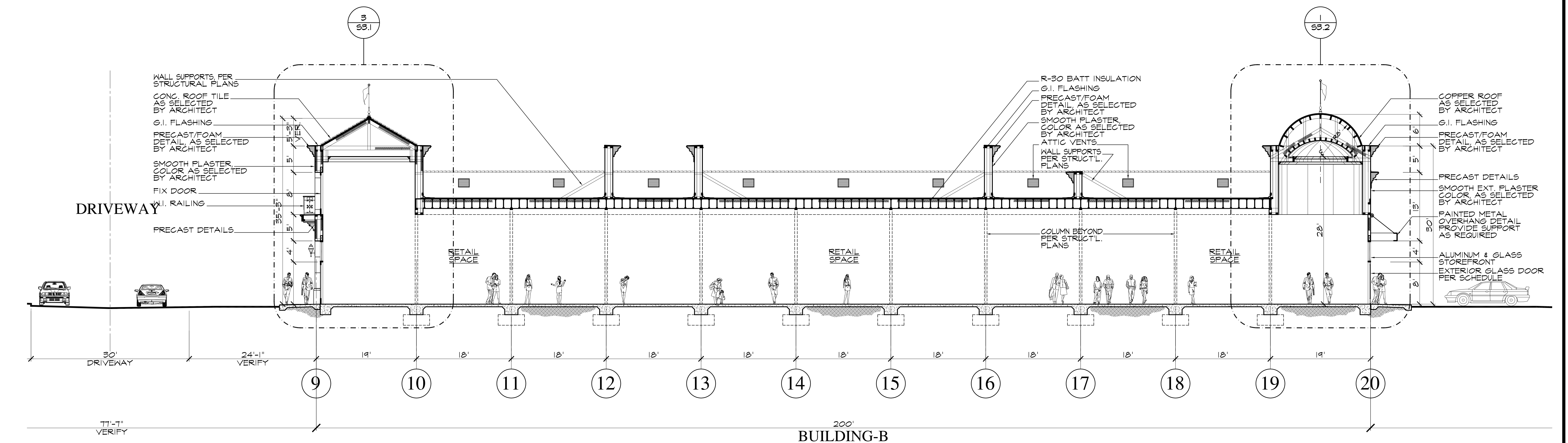
BUILDING B - SECTION

SCALE: 1/8"=1'-0"



BUILDING A - SECTION

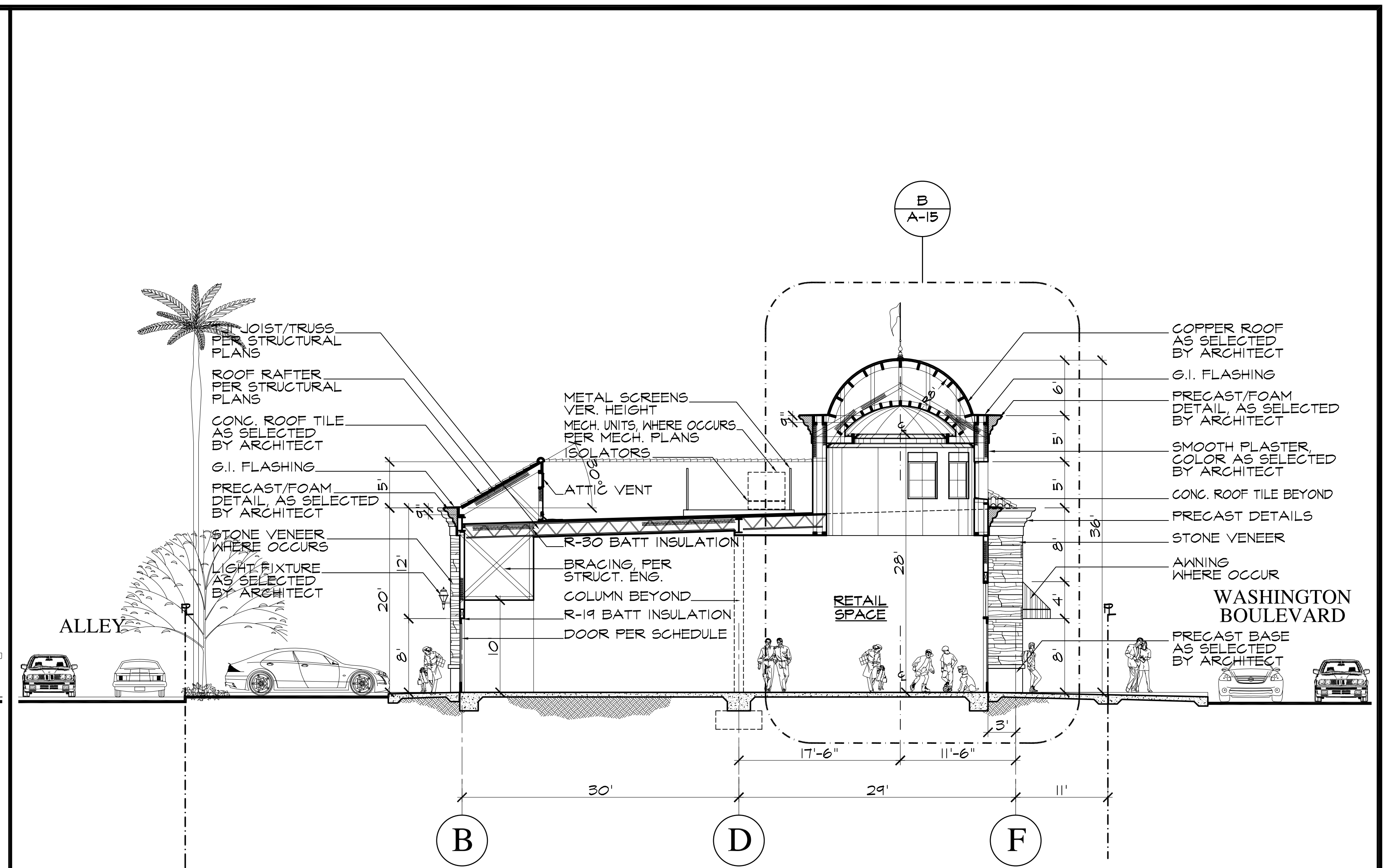
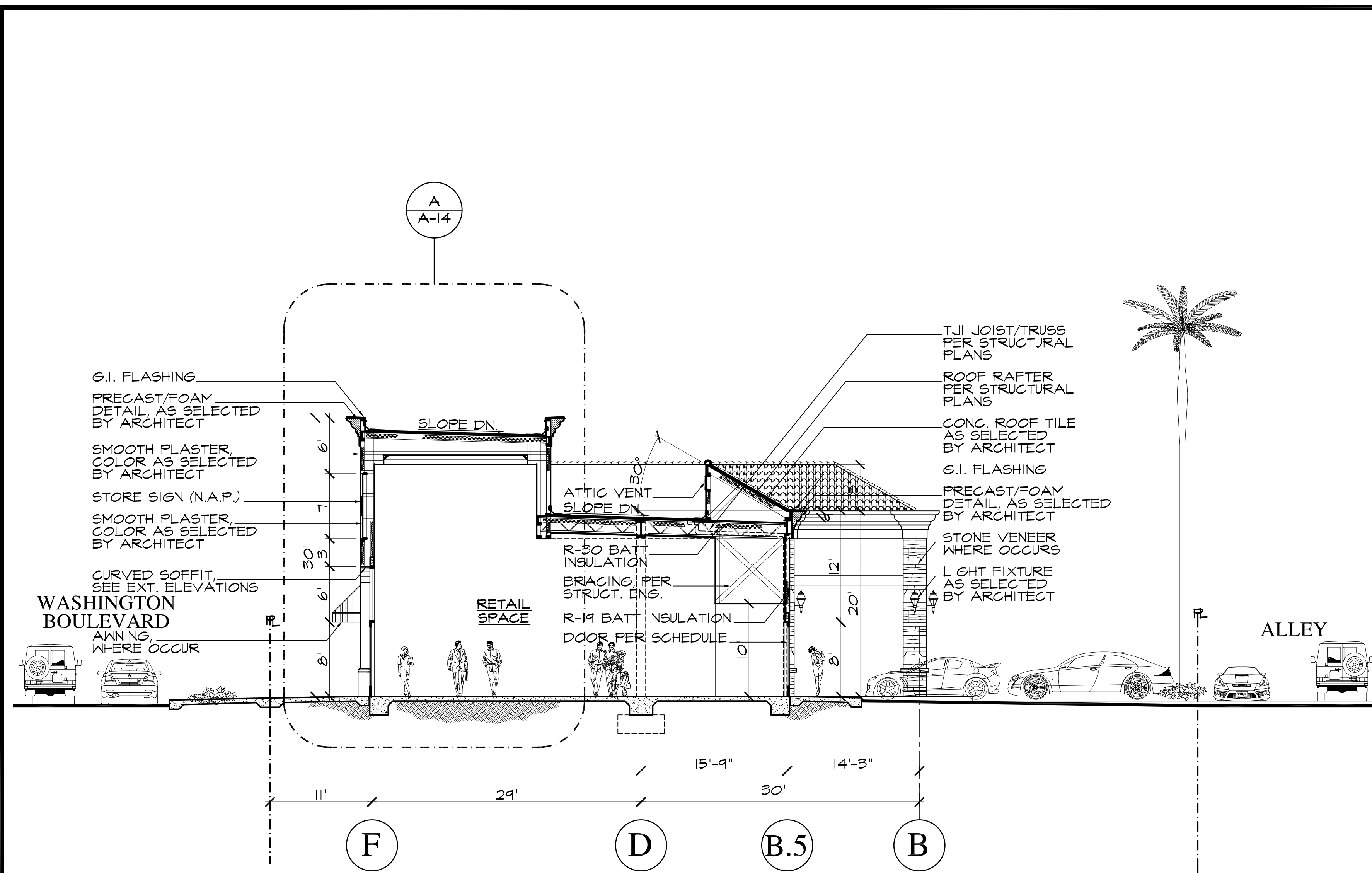
SCALE: 1/8"=1'-0"



BUILDING B - SECTION

SCALE: 1/8"=1'-0"

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ARCHITECT	<p>JACK HOLLANDER &amp; ASSOCIATES, INC.</p> <p>1000 WASHINGTON BOULEVARD MARTIN DEL REY, CALIFORNIA 90231</p>									
REVISION	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>6/14/12</td> <td>BUILDING DEPT.</td> </tr> <tr> <td>2</td> <td>11/21/12</td> <td>2ND SUBMITTAL</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	6/14/12	BUILDING DEPT.	2	11/21/12	2ND SUBMITTAL
NO.	DATE	DESCRIPTION								
1	6/14/12	BUILDING DEPT.								
2	11/21/12	2ND SUBMITTAL								
DATE	<p>6/14/12 BUILDING DEPT.</p> <p>11/21/12 2ND SUBMITTAL</p>									
PROJECT	<p>MARINA GATEWAY PARCEL-95 WASHINGTON BOULEVARD MARTIN DEL REY, CALIFORNIA</p>									
SHEET TITLE	ELEVATIONS									
JOB NO.	9912									
DRAWN BY	J.T.									
APPROVED BY	-									
SHEET NO.	A-9									

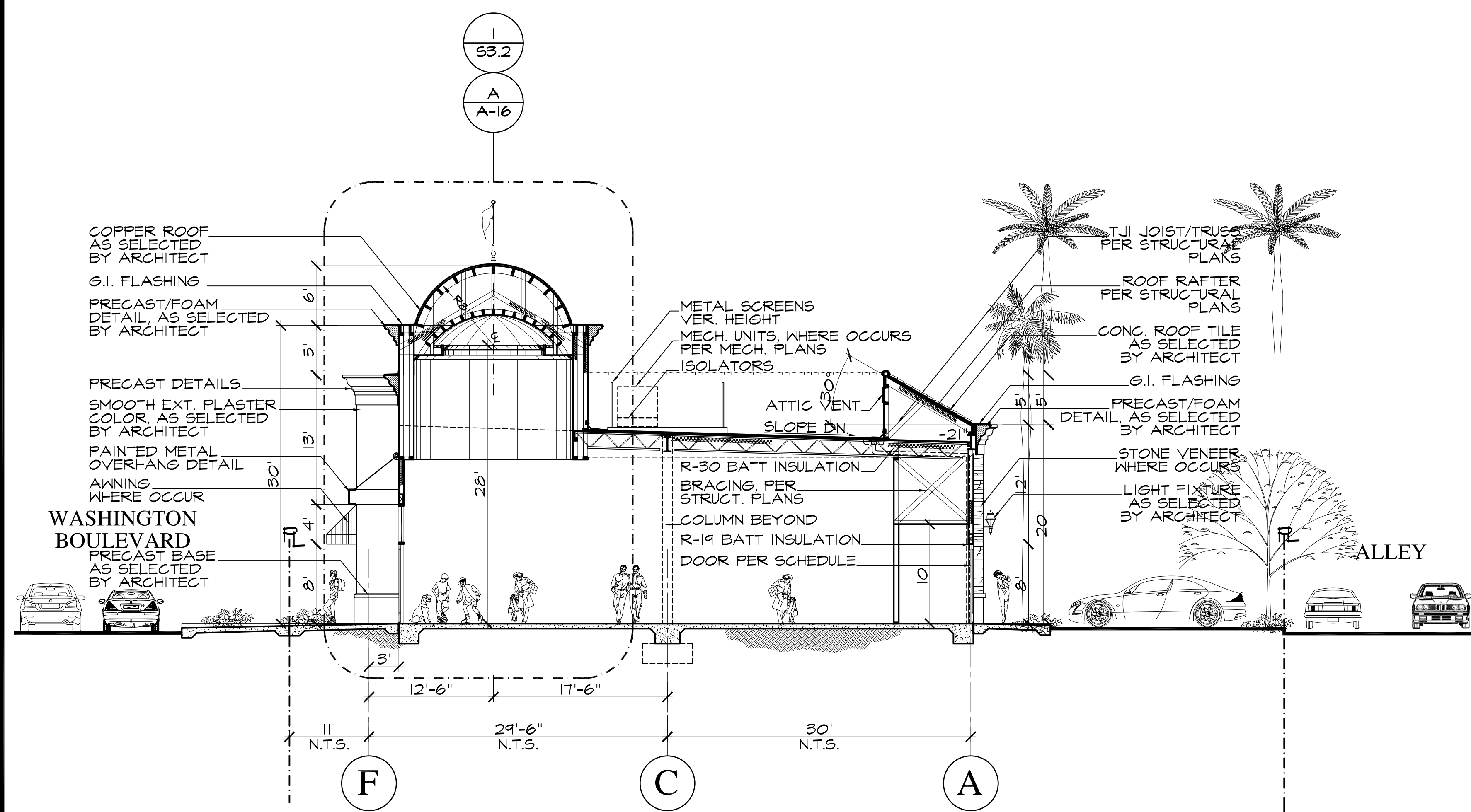


BUILDING A - SECTION A

SCALE: 1/8"=1'-0"

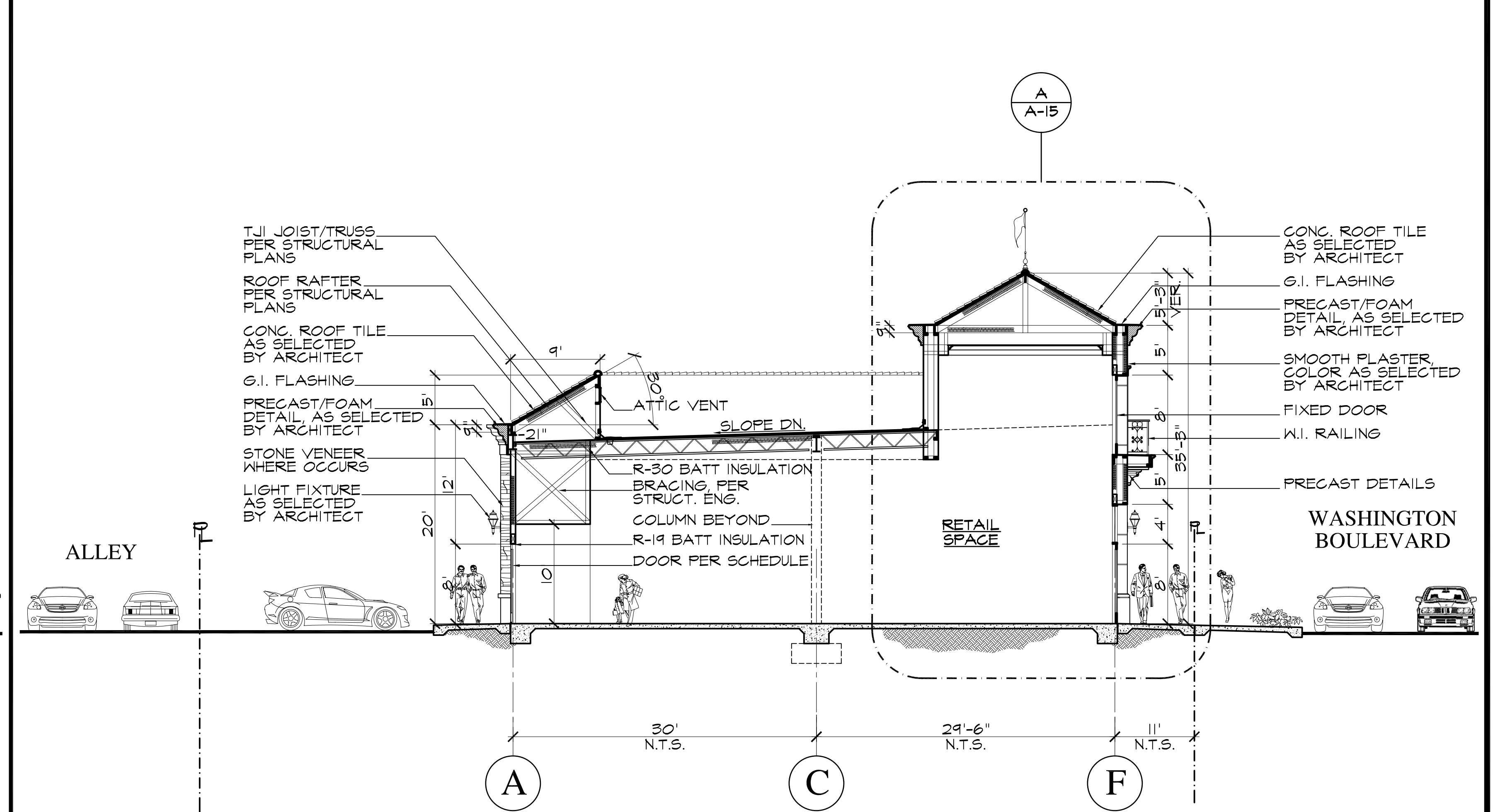
BUILDING A - SECTION B

SCALE: 1/8"=1'-0"



BUILDING B - SECTION C

SCALE: 1/8"=1'-0"

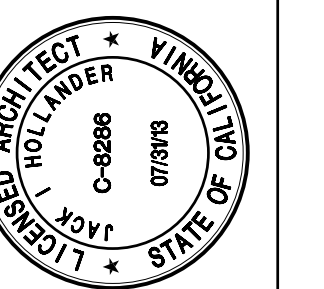


BUILDING B - SECTION D

SCALE: 1/8"=1'-0"

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ARCHITECT	REVISION	DATE	ISSUED FOR	DATE
			6/16/12 BUILDING DEPT.	
			11/2/12 2ND SUBMITTAL	



**Jack Hollander & Associates, Inc.**  
Architecture Planning Interiors

**PROJECT**  
MARINA GATEWAY  
PARCEL-95  
WASHINGTON BOULEVARD  
MARINA DEL REY, CALIFORNIA

**SHEET TITLE**  
BUILDING SECTIONS

**JOB NO** 9912  
**DRAWN BY** J.T.  
**APPROVED BY** -  
**SHEET NO**

**A-10**



PETER D. BRANDOW • AIA • ASLA  
& ASSOCIATES

LANDSCAPE ARCHITECTS

20301 S.W. BIRCH STREET • SUITE 102  
NEWPORT BEACH • CA 92660-1754  
949-261-6066 • FAX 949-261-6064

EMAIL PBRANDOW@AOL.COM

CALIFORNIA LICENSE 1267/C-6445

May 20, 2013

DESIGN REVIEW COMMITTEE

Re: Parcel 95, Marina Gateway

John,

The below is a brief description:

***Project Description:***

Commercial development of approximately 1.27 acres with a fully landscaped front parkway, decorative interlocking pavers and an accent pedestrian oriented park of approximately 0.20 acres on the SE corner of Via Marina and Washington Blvd. The parking provided within the project is flanked by shade trees.

The corner park consists of raised and on grade planters surrounded with palms with a lowered central gathering / seating area and a stage area adjacent to it. This is to give respite for the pedestrians and allow for community gatherings as needed. All irrigation for the planting areas is to be an underground weep system which is highly water efficient. All plantings to be of low water demand plant material.

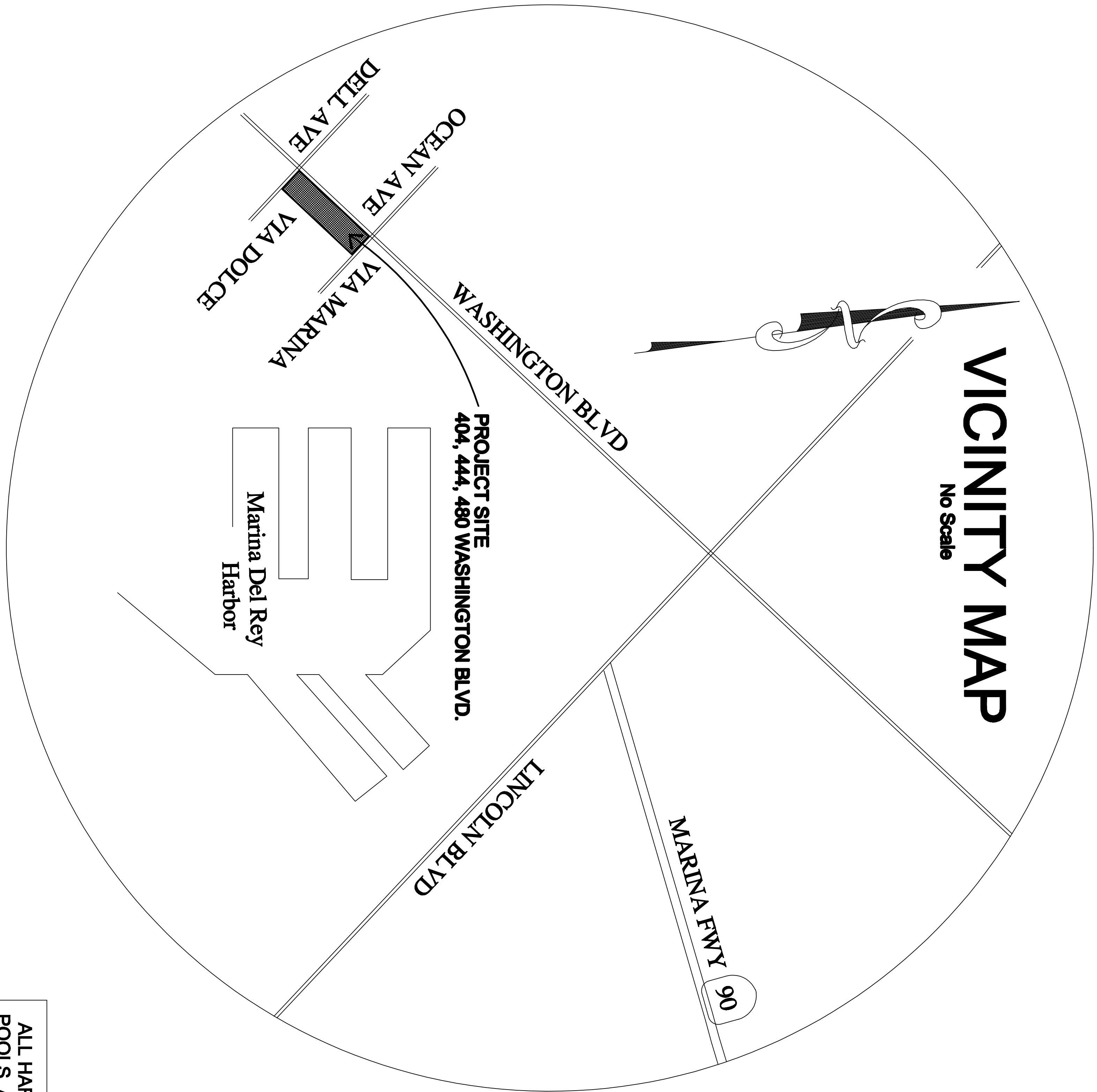
This should cover the landscape development of the project. If you need any further information, please call.

Respectfully,



Peter D. Brandow, AIA, ASLA  
PRINCIPAL  
C6445, 1265

PDB:pb



# MARINA GATEWAY PARCEL-95

440-480 WASHINGTON BOULEVARD  
MARINA DEL REY, CALIFORNIA

## LANDSCAPE & IRRIGATION PLANS

- SHEET L.1 : PARTIAL SITE PLANTING PLAN
- SHEET L.2 : PARTIAL SITE PLANTING PLAN
- SHEET L.3 : PARTIAL SITE PLANTING PLAN
- SHEET L.4 : PLANT LIST & DETAILS
- SHEET L.5 : LANDSCAPE SPECIFICATIONS
- SHEET LC.1 : PARTIAL SITE DEVELOPMENT PLAN
- SHEET LC.2 : PARTIAL SITE DEVELOPMENT PLAN
- SHEET LC.3 : DETAIL PARK AREA PLAN
- SHEET LC.4 : PARK PLANTER WALL ELEVATIONS
- SHEET LC.5 : SECTIONS AND DETAILS
- SHEET LC.6 : PARTIAL SITE DEV. ISLANDS REST.
- SHEET LI.1 : PARTIAL SITE IRRIGATION PLAN
- SHEET LI.2 : PARTIAL SITE IRRIGATION PLAN
- SHEET LI.3 : PARTIAL SITE IRRIGATION PLAN
- SHEET LI.4 : IRRIGATION SPECIFICATIONS
- SHEET LI.5 : IRRIGATION DETAILS

STREET TREES WITHIN PUBLIC RIGHT-OF-WAY ARE  
TO BE PLANTED PER APPROVED STREET  
IMPROVEMENT PLANS

ALL HARDSCAPES, RETAINING WALLS, SWIMMING  
POOLS, AND/OR BLOCK WALLS MUST BE REVIEWED  
AND APPROVED UNDER SEPARATE PERMIT

### LANDSCAPE SITE STATISTICS: Green Building Standards

Site Landscape: Lawn - Grasscrete parking area	3,109 sf (21%)
- Parkway lawn planting	5,679 sf (38%)
Site - Drought-tolerant planting	6,006 sf (41%)
Parking lot / grasscrete	3,109 sf
Building site	222 sf
Lawn parkway frontage	5,679 sf
Restaurant site	2,340 sf
Park site: Parking/grasscrete	952 sf
Site planting	2,492 sf

All plants and turf is to be water efficient. All areas are to be grouped into hydrozones based upon plant material, exposure and maintenance requirements

### SITE TREE PLANTINGS:

Existing Palm trees on site and in Parkway to remain 23  
On site parking lot trees at Restaurant to remain 7

### NEW TREE PLANTINGS:

New street trees,  
New street trees, Lagerstroemia "Natchez", 24"box 27  
Site trees: Platanus Mexicana, 36"box 7  
Lagerstroemin "Tuscarora, 36"box 6  
Phoenix Canariensis, 14bif 4  
Archontophoenix Cunninghamiana, 50gallon 14

### SHEET LI.4 : IRRIGATION SPECIFICATIONS

**Maintenance Schedule:** A regular maintenance schedule to satisfy the following conditions shall be a part of the Landscape Documents:

1. Landscapes shall be maintained by OWNER on a regular basis to ensure water efficiency. Regular Landscape maintenance shall include, but not be limited to, checking, adjusting and repairing irrigation equipment, resetting the automatic controller seasonally, aerating and dethatching turf areas, replenishing mulch, fertilizing, pruning and weeding in all landscape areas.
2. Whenever possible, repair of irrigation equipment shall be done with the originally specified materials or their approved equivalents.
3. A landscape irrigation audit shall be done every five (5) years.

### LANDSCAPE AREAS:

SITE: Parking/grasscrete	3,109 sf
Site	222 sf
Parkway frontage	5,679 sf
Restaurant site	2,340 sf
Park: parking	952 sf
site	2,492 sf
Total Landscape.....	14,794 sf

## LEGAL DESCRIPTION

MARINA DEL REY PARCEL 95S  
PARCELS 370 TO 377 INCLUSIVE, AS SHOWN ON LOS ANGELES COUNTY ASSESSOR'S MAP NO 88, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, RECORDED IN BOOK 1, PAGES 53 THROUGH 70 INCLUSIVE OF ASSESSOR'S MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
EXCEPT THEREFROM THAT PORTION THEREOF WHICH LIES NORTHEASTERLY OF A LINE WHICH BEARS AT RIGHT ANGLES TO THE SOUTHEASTERLY LINE OF SAID PARCEL 377, AND WHICH PASSES THROUGH A POINT IN SAID SOUTHEASTERLY LINE DISTANT SOUTHWESTERLY THEREON 100.00 FEET FROM THE EASTERLY CORNER OF SAID LAST MENTIONED PARCEL.  
ALSO EXCEPT THEREFROM THAT PORTION THEREOF WHICH LIES WITHIN THE SOUTHWESTERLY 10 FEET OF SAID PARCEL 370.  
PARCEL B:  
A RIGHT OF WAY FOR INGRESS AND EGRESS TO BE USED IN COMMON WITH OTHERS OVER THESE PORTIONS OF PARCELS 362 TO 369 INCLUSIVE, AS SHOWN ON SAID MAP, WHICH LIE NORTHWESTERLY OF A LINE PARALLEL WITH AND 200 FEET SOUTHEASTERLY, MEASURED AT RIGHT ANGLES, FROM THE NORTHWESTERLY LINE OF SAID PARCEL 362.  
ALSO RESERVING AND EXCEPTING UNTO THE COUNTY OF LOS ANGELES A RIGHT OF WAY FOR HARBOR UTILITY PURPOSES IN AND ACROSS THE SOUTHEASTERLY 5 FEET OF SAID PARCELS 370 TO 377 INCLUSIVE.

















LANDSCAPE PLANTING

- 1.00 PART 1 – GENERAL
- 1.01 DESCRIPTION: Division 1 applies to this Section. Provide landscape planting as indicated, specified and required.
- A. Work Included in This Section. Principal Items include:
- Landscape finish grading
  - Soil preparation
  - Tree supports and headers
  - Planting including lawn
  - Watering
  - Maintenance and observations
- B. Related work not included in this section.
1. Site and rough grading
2. Irrigation
- 1.02 QUALITY ASSURANCE
- A. Qualifications of installers. Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the specified requirements and the methods needed for proper performance of Work of this Section.
- B. Approvals. Sprinkler work shall be inspected, tested and approved before the start of any Work in this Section. Prior to coverage and backfill of sub-surface drains and drain lines, inspect and be responsible for performance thereof.
- C. Legal Requirements. Give adequate and required legal notices to Owner, utility organizations, and governing authorities prior to commencing.
- D. Certification. Prior to completion, submit written certification to Owner and Architect for following items:
- Quantity of commercial fertilizer and organic fertilizer.
  - Quantity of all specified soil amendments.
  - Quantity of sod [or seed].
- E. Job Conditions
- Verification of Existing Conditions. Examine site and determine and verify existing conditions, including subsurface drainage conditions. Written dimensions take precedence over scale dimensions; verify and be responsible for dimensions and conditions. Notify Architect in writing of any variations from dimensions and conditions shown; submit to Architect for signed approval before proceeding with landscape planting.
  - Coordination. Coordinate operations with other trades, utility firms, street tree department and other affected public departments to assure efficient access and service in conformance with applicable requirements of these specifications.
  - Protection. Take precautionary measures for safety of employees and comply with applicable Federal, State and Municipal laws and codes.
- F. GUARANTEES. Guarantee all trees and shrubs as to growth and health for a period of one year after end of 60 day maintenance period.
- 2.00 PART TWO – PRODUCTS
- 2.01 MATERIALS. Specifying materials by name and product designation is for the purpose of facilitating a description of materials and establishing the materials to be used unless noted "no alternatives". Verify amounts of soils, weeds required by plan check and site inspection. Provide adequate amounts of specified soils to obtain grades, after compaction as shown and which are required for mounds/ups as noted.
- GENERAL: The following fertilizers, and soil amendments are to be used for bid price basis only. Specific amendments and fertilizer specification will be made after grading operations are complete and samples are tested by Contractor for the owner by an approved agronomy testing facility.
- A. TOPSOIL. Fertilize, friable, natural top loam, free from oilkil, noxious weed seed, admixtures of clay, subsoil, rocks larger than 1-1/2" diameter, sticks, debris, detrimental to healthy plant growth, pH reading of not less than 6.5 or more than 7.5.
- B. INORGANIC FERTILIZERS.
- Iron Sulphate: Ground ferrous sulphate containing not less than 18.5% iron expressed as metallic.
  - Gypsum: Agricultural grade product containing 98% minimum calcium sulphate.
  - Agricultural Limestone.
- C. FERTILIZER/SOIL CONDITIONER. (As required by soil/agronomy test) GRO-POWER PLUS as manufactured by Gro-Power, Inc. Phone: (909) 393-3744

1. Top dress fertilizer: Gro-Power Plus (5-3-3-1)
2. Planting fertilizer: Gro-Power Plus (5-3-3-1)
3. Nitrogen stabilized pine or fir shavings.
4. Nitrogen stabilized pine or fir shavings.
5. Surfactant: Dry granular "Water-In" distributed by Target Chemical (800) 257-7797.
- D. SOIL AMENDMENTS. Reduced/47% blend 0-1-21" manufactured by B.D. White Top Soil Co; Inc. 4475 Commonwealth, Culver City, or approved equal. (310) 838-8111
- E. PLANTING TABLETS:
- To be slow release type, containing the following percentages of nutrients by weight:
- 20% nitrogen  
10% phosphoric acid  
5% potash
2. To be 31 gram tablets as manufactured by Agriform or approved equal applied per manufacturer's instructions.
- F. SIGNAL FLAGS: Provide 1/2" diameter white pvc pipe 5 feet long over each guy wire installed.
- G. TREE PROTECTOR: All trees in lawn areas shall be provided with ARBOR-GARBS available from Orange County Farm Supply, Orange, CA. (714) 978-6500 or approved equal.
- H. TREE TIES. "Kornder Tree Tie" by ALDEN ENTERPRISES, Industry, Ca. (818) 336-3512
- I. TREE GUYS. Minimum of three per tree, wire of No.12 pliable zinc-coated iron wire unless otherwise approved or noted. Where tied to trees, protect trunk with 1/2" rubber hose connector.
- Anchor (Deadend) for Guys. Construction grade redwood 2" by 2", 3 feet long, buried 12" minimum below grade.
- J. LAWN HEADERS.
- 2"x 4" construction grade redwood with 1"x 2"x 18" construction grade redwood stakes, with nails.
  - Concrete Headers: Provide 6"x 6" concrete header per detail with continuous #4 rebar and 1/2" asphalt felt expansion joints at 30 ft. o.c. and of change of direction. Provide tooled joint at alternate 30 ft. centers.
- K. MULCH.
- A. Provide maximum 1" size Uni-Mulch" as manufactured by Sodablock Soil Service, Inc. Mission Viejo, CA
- "Luff-In-Tee" as supplied by Sequoia Forest Products
- "Medium grind compost" as supplied by Blue Ribbon Landscape Supply, Orange, (714) 633-3666.
- Note: All mulch shall consist of fibrous, woody shredded bark. (No redwood chips or bark acceptable).
- 2.02 PLANT MATERIAL. Healthy, shapely, well rooted, roots free of evidence of having been restricted or deformed at any time. Plants shall be representative of their normal growth habit, free of insect damage, diseases, stem problems, distortions of bark. Plants not meeting these requirements are defective and such plants, whether in place or not, will be marked as rejected and replaced immediately. Plants shall be true to name and tagged, one of each variety. Plant material shall be approved on or before delivery to site. Plant material shall be grown in nurseries inspected by the State Department of Agriculture.
- A. SIZING. Size and condition of the plant material on Planting Plan Number One Grade.
- B. LAWN SOD. Marathon Fescue Sod, free of weeds and other grasses, available from Southern Farms, (800) 532-3489
- C. HERBICIDES. Herbicides use shall be limited to those types that are listed and approved by SDG and under the direct supervision or recommendations of an "Agricultural Pest Control Advisor" as licensed by the State Department of Food and Agriculture.
- D. OTHER MATERIALS. Materials not specifically described but required for a complete and proper installation of the Work subject to the approval of the Architect.
- 3.00 PART THREE – EXECUTION
- A. GENERAL. Install materials in accordance with methods, techniques, and specifications published by each manufacturer. All pertinent descriptive literature issued by any of these manufacturers forms a part of these Specifications after approval.

- 3.01 LANDSCAPE GRADING
- A. BACKFILL, FILL, IMPORTED OR ARTIFICIAL SOIL AND GRAVEL. Prior to installation of any imported soil, backfill, gravel fill or sub-base, inspect the integrity of water-proofing, and damp-proofing membranes and for satisfactory correction of any defects which might reduce the performance of the above membranes prior to proceeding.
- B. TOPSOIL. Import additional topsoil only as required to bring planting areas up to finish grade – topsoil of quality specified herein. Spread and cultivate topsoil so no settling takes place at any time.
- C. LANDSCAPE FINE GRADING. Receive previously prepared rough grade to within + 1/10 foot of finish grade unless otherwise instructed. Bring soil to grades indicated, incorporating irrigation or soil water conditions, and correct unevenness of soil. Govern grades not specifically indicated as follows:
- 1" below adjacent paving, curbs, and mow strips for lawn.
  - 2" below adjacent paving, curbs, and mow strips for shrubs and ground cover.
1. Areas Except Lawn. Make entire area smooth and even to finish grade. Cultivate all areas so that there are no humps or hollows, so that areas drain as indicated. Grade flow lines, designated or not, and maintain and allow free flow of surface water. Cultivate and grade to within 1/2" of surface grade. Grade shall be finished to within 1/2" of surface grade. Minimum and maximum grades shall be 1/2" in diameter, rubble, construction material and waste and any other material that may cause unsatisfactory results.
2. Lawn Areas. Cultivate areas to receive lawn to a depth of 6" minimum in two directions and remove all rock and debris in excess of 1" diameter from the site. Grade flow lines, designated or not, and maintain to allow free flow of surface water.
- 3.02 SOIL AMENDMENTS. THE FOLLOWING IS FOR BID BASIS ONLY AND SPECIFIC BACKFILL AND AMENDMENT SPECIFICATIONS WILL BE MADE AFTER ROUGH GRADING OPERATIONS ARE COMPLETE AND SOIL SAMPLES ARE TAKEN BY CONTRACTOR AND TESTED BY AN APPROVED AGRONOMY TESTING FACILITY.
- A. Soil Amendments. Incorporate by mechanical tiller into the top 6" of soil in two directions, the following:
- IN ALL AREAS TO BE PLANTED:
- Nitrogen stabilized pine/47% organic amendment 6 cu. yds. per 1,000 sq. ft.
  - Gro-Power Plus 5-3-3-1 – 250 lbs. per 1,000 sq. ft.
  - 25 lbs. Agricultural Gypsum, per 1,000 sq. ft.
  - Iron sulfate – 5 lbs. per 1,000 sq. ft.
  - Gro-Life – 20 lbs. per 1,000 sq. ft.
  - Surfactant: Dry "Water-In" – 10 lbs. per 1,000 sq. ft. or AQUO-GRO – 4 lbs. per 1,000 sq. ft.
- NOTE: Contractor shall ensure that iron sulfate does not contact walks, walls or other landscape surfaces. All stains on these surfaces, as a result of iron sulfate overflow, will be the responsibility of the Contractor.
- 3.03 HERBICIDE APPLICATION
- A. Pre-Emergent Herbicides. Apply to planting areas, except lawn, in accordance with manufacturer's recommendations. After application apply 1" to 2" of water.
- B. Contact Herbicides. Apply per manufacturer's recommendations to areas to receive lawn. Prior to application, moisten areas for 14 days to encourage weed germination and growth. Apply contact herbicide before weeds attain 8" height. Remove higher weed growth manually.
- 3.04 TREE SUPPORTS
- A. Staked Trees. Stake all trees not to be guyed at time of planting by driving stake at windward edge of plant ball. Fasten tree as shown on detail.
- B. Guyed Trees. Guy as indicated on detail immediately after planting using three (3) guys per tree minimum, placed as to give equal support to tree from any direction. Install a warning flag on each guy. Protect bark of tree by connecting wire with 1/2" diameter hose. Anchor guys with "deadend" buried at least two feet below grade. Tighten guys to the tension specified by manufacturer. Guying shall be such that three guy wires do not give required support in all direction.
- 3.05 HEADERS
- A. Headers: Place headers to form even continuous curvess; onges or sharp changed in curves are not acceptable.

- 3.06 LANDSCAPE PLANTING
- A. Planting General. Do not install plant material or apply sod (seed) until irrigation system is completely installed, adjusted for full coverage, and operational. Do not expose roots to air except while being placed in ground. Set plants to bear some weight on soil level when planted as they did when in the container.
- B. Plant Fits/Backfill. Dig each plant pit with vertical sides, level bottom with width twice the diameter of the root ball and 12" deeper than the length of root ball. BACKFILL each plant pit with the following prepared soil mix:
- Four parts composted weed chips.  
5 parts of GRO-POWER-PLUS (5-3-3-1) per cubic yard of mix.  
32 lbs. of GRO-LIFE per cubic yard of mix.  
One ounce of iron sulfate per cubic yard of mix. (Contractor to take precautions to KEEP OFF PAVING- CAUSES STAINING).  
17 lbs. of GRO-POWER-PLUS (5-3-3-1) per cubic yard of mix.
- Provide fertilizer planting tablets at the rate specified by manufacturer according to plant size.
- Dig planting pit to recommended depth. Backfill hole to obtain proper level for the plant. Place recommended tablet(s) between the bottom and around the rootball, but no higher than 1/3 of the way up to the soil surface. Tamp the soil around the root ball to perimeter approximately 2" from the root flaps. Finish backfilling the planting pit, tamping the soil firmly and water thoroughly. (Note: For groundcover, bare root, balled and burlapped – tablets should be placed at some depth and directly next to the root ball.
- APPLICATION RATES FOR PLANTING TABLETS (7 gram tablets)
- | Plant Size | No. of Tablets |
|------------|----------------|
| 1 gal.     | 2 - 3          |
| 5 gal.     | 6 - 9          |
| 12 gal.    | 12 - 15        |
| 25 gal.    | 18 - 26        |
| 36" box    | 19 - 26        |
| 48" box    | 22 - 24        |
| 60" box    | 32 - 36        |
- Larger sizes – for eq. 1/2" caliper use.
- 3 - 4 Ground Cover. Grow plants in flats until time for transplanting. At time of planting, dig pits for plants from flats at least 6"x 6" and firm earth around each plant sufficiently to force out air pockets.
- D. Watering Basins. Construct around plants, except in lawns, watering basins unless otherwise noted. Construct a 3" berm above finish grade with a level bottom around each plant ball. Do not berm plants from flats or plants on slopes greater than 2-1/2" horizontal to 1-foot vertical.
- E. Plant Material in Lawn. Plant trees and shrubs in lawn areas before final preparation of lawn areas and sodding or seeding.
- F. Willed Plants, whether in place or not, are not acceptable; replace immediately at Contractor's expense.
- G. Sod.
- Preparation. Flood areas to be planted in lawn sods to present a neat and uniform appearance. Obtain inspection by Architect to determine suitability for planting prior to sod installation.
  - Installation. Grade to 1" below finish grade and wicks to accommodate sod thickness. Roll area to be sodded lightly to an even, smooth surface, eliminating any low areas, depressions, or projections. After sod is laid, roll lightly to give the surface an even uniform appearance.
- H. Lawn – Seeded (Alternate).
- Seeding. Evenly drill specified seed into soil with an approved mechanical seeder (Griffin type seeder or equivalent) at the rate of 15 pounds of seed per 1000 ft. Top dress seeded areas with 1/4" maximum layer of top dressing – Kellogg's topsoil or equal.
  - Watering. Water plants immediately after planting. Do not allow plants to dry out before or while being planted. Keep exposed crown areas moist and covered. Deep expose crown areas of all planted plants during planting operations. Apply water to planted areas and plants during operations and thereafter until acceptance. Use a hose to water plants which cannot be watered efficiently with existing water systems. Apply water in sufficient quantities and as often as seasonal conditions require to keep the ground wet but not soaking, at all times, well below root systems of plants and grass.
- I. Trees, Shrubs, and Vines. Immediately after planting, thoroughly water each plant by means of a hose with a slow running stream of water.
2. Groundcover. Immediately after planting, thoroughly water each plant by means of a hose with a slow running stream of water.
- MULCH COVER:
1. Top Dressing (Ground Cover Areas): Apply a 2" layer of specified shredded mulch to those areas specified. Do not apply mulch dressing on slopes 2 1/2:1 or greater.

- 4.0 PART FOUR – MAINTENANCE
- A. General. Continuously maintain landscaping in all areas included in the Contract during progress of the Work, the maintenance period, and until final acceptance. After work indicated or specified has been completed, the Contractor shall maintain and protect all areas by means of continuing watering, rolling, cultivation, spraying, mulching, fertilizing, and other operations necessary for care and upkeep for a period of 60 calendar days. At end of this period, all plant material shall be in a healthy growing condition.
- B. During 60 Calendar Day Maintenance Period – Water all plants and planted areas. Remove weeds. Daisies, Johnson Kikyo, Nuri, and Bermuda grass. Mow grass with a reel type mower equipped with rollers. Edge lawns, 2" whenever necessary. Keep lawn cut to not less than 2" and mow during hours of daylight. Remove grass from sidewalk, driveway, and other areas. Care for lawn areas from site. Care for entire project that a neat and clean condition will be presented at all times, as approved.
- C. Water Lawn Areas until acceptance. Apply water by means of sprinkler system. Keep areas moist, but not glistening wet, until an even, close stand of grass has been obtained and lawn is a healthy mature turf. Workmen are not allowed to walk on lawn areas unnecessarily before, during and after sodding operation. If damaged or compacted, cultivate and resod lawn areas.
- D. Fertilizer. Apply Gro-Power Plus at the rate of 25 pounds per 1,000 feet uniformly over all planted areas including lawn. At each 30 calendar day period until plant establishment is complete and accepted by Owner.
- E. Completion and Correction. Contractor may be relieved of maintenance when final 60 day calendar day plant establishment has been satisfactorily completed and accepted. Damage to planting areas shall be replaced or repaired immediately. Depression caused by vehicles, bicycle or foot traffic are to be filled with topsoil and leveled. Resod damage done to lawn areas. Damage caused by gophers and moles shall be replaced or repaired immediately.
- F. Replacement of Plants. Plants that show signs of failure to grow at any time during the maintenance period, or those plants so injured or damaged as to render them unsuitable for the purpose intended shall be replaced immediately at the expense of the Contractor. Contractor shall replace any material which does not meet requirements within 15 days of notification. Any tree or grass that die or lose form and size as originally specified shall be replaced even though they have taken root and are growing other die-back or loss of form and size.
- 5.00 PART FIVE – INSPECTIONS/OBSERVATIONS
- A. General. In all cases where observations are required, notify the ARCHITECT and OWNER at least three (3) working days in advance of the time of observations. Observations are required as follows:
- At completion of landscape finish grading and upon the delivery of plant material to site.
  - Immediately prior to planting and at time of completion of final grading.
  - At completion of all landscape planting prior to the start of the sixty (60) calendar day contract maintenance period.
  - At end of the first 30 calendar days during the contract maintenance period.
  - At the completion of the 60 calendar day maintenance period.
- NO SITE VISITS shall commence without all items noted in previous compliance Reports either complete or remedied unless such compliance has been waived by the Owner. Failure to accomplish punch list tasks or prepare adequately for desired inspections shall constitute a breach of the contract. The Architect or his current listing agency per hour (plus transportation costs). No further inspections shall be scheduled until this change has been paid and received.

LANDSCAPE SPECIFICATIONS

SCALE: No Scale

PROJECT

MARINA GATEWAY PARCEL-95

WASHINGTON BOULEVARD  
MARINA DEL REY, CALIFORNIA



Jack Hollander & Associates, Inc.

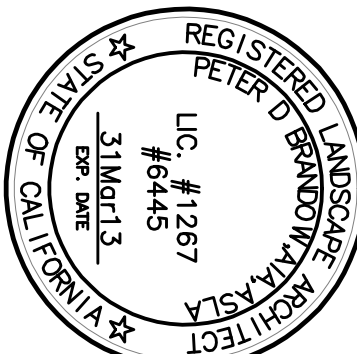
Architecture Planning Interiors

DATE

ISSUED FOR

DATE

REVISION



PETER BRANDOW, AIA, ASLA & ASSOCIATES  
LANDSCAPE ARCHITECTS

20001 SW BIRCH STREET, SUITE 102, NEWPORT BEACH, CA 92660  
(949) 261-8611 FAX (949) 261-8664  
email: pbrandow@AIA.com

SHEET TITLE

LANDSCAPE SPECIFICATIONS

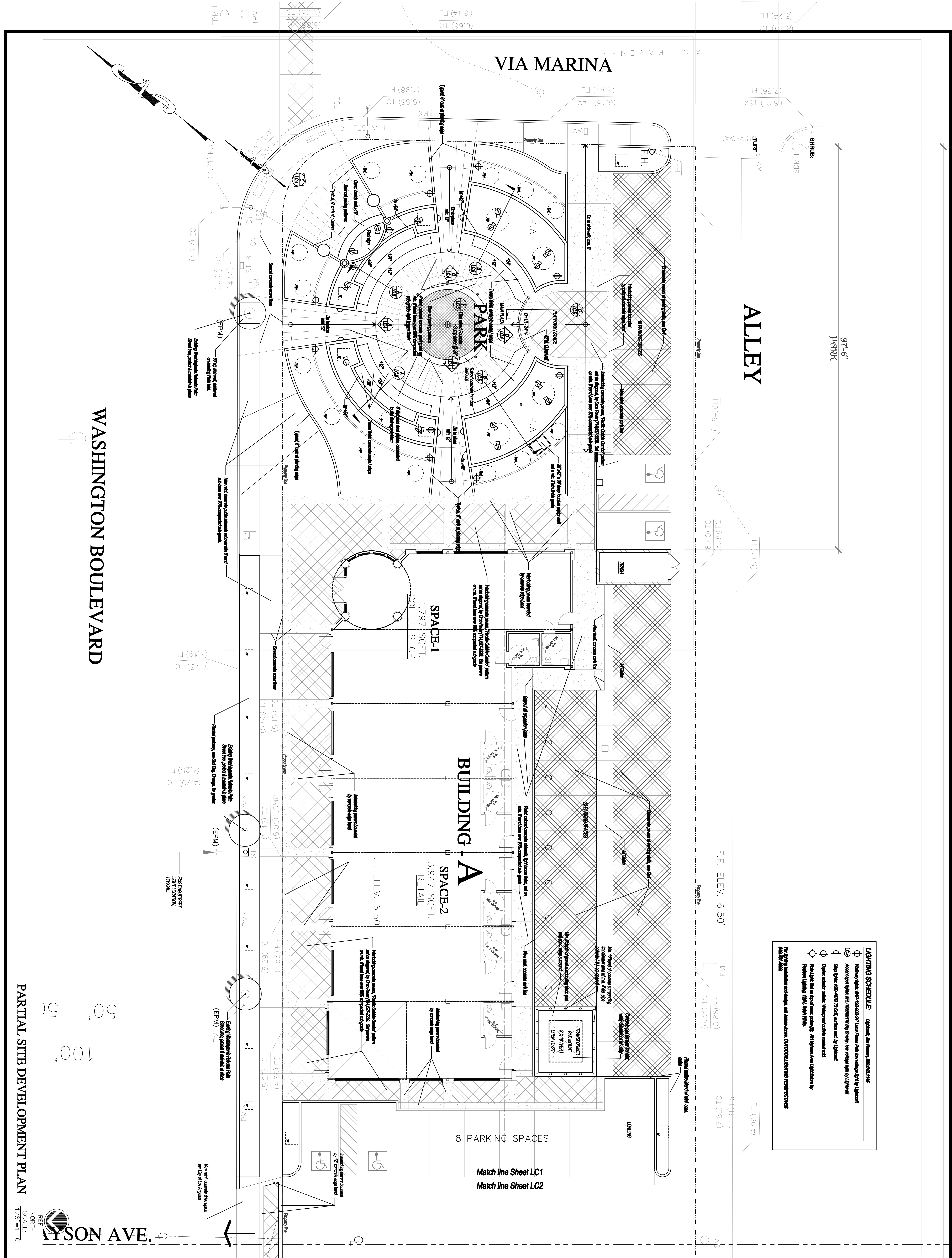
JOB NO 0915

DRAWN BY P.D.B. 8/NOV/12  
BY APPROVED 8/

SHEET NO

L.5  
6 OF 17







ALLEY

(2.99) FL

(3.51) FL

MM

Property line

MM

MM

U/LVL

MM

(3.86) TC

(3.61) FS

(5.95) TC

(5.35) FS

10 PARKING SPACES

TRASH

New wet concrete curb line

Including concrete gutters, "Public Cobble Counter" pattern set on diagonal by City Plan (7/4/87/228). Set pavers on m/s. Ground lines over 8% compensated sub-grade

Including concrete gutters, "Public Cobble Counter" pattern set on diagonal by City Plan (7/4/87/228). Set pavers on m/s. Ground lines over 8% compensated sub-grade

11,296 SQ.FT.  
RETAIL  
F.F. ELEV. 5.50'

BUILDING - B

Including concrete gutters, "Public Cobble Counter" pattern set on diagonal by City Plan (7/4/87/228). Set pavers on m/s. Ground lines over 8% compensated sub-grade

Including concrete gutters, "Public Cobble Counter" pattern set on diagonal by City Plan (7/4/87/228). Set pavers on m/s. Ground lines over 8% compensated sub-grade

Property line

Including concrete gutters, "Public Cobble Counter" pattern set on diagonal by City Plan (7/4/87/228). Set pavers on m/s. Ground lines over 8% compensated sub-grade

Shed concrete curb line

(EPN)

(4.15) FS

(4.73) TC

Including concrete gutters, "Public Cobble Counter" pattern set on diagonal by City Plan (7/4/87/228). Set pavers on m/s. Ground lines over 8% compensated sub-grade

New wet concrete curb line

(EPN)

(4.15) FS

(4.73) TC

Including concrete gutters, "Public Cobble Counter" pattern set on diagonal by City Plan (7/4/87/228). Set pavers on m/s. Ground lines over 8% compensated sub-grade

Shed concrete curb line

(EPN)

(4.15) FS

(4.73) TC

Including concrete gutters, "Public Cobble Counter" pattern set on diagonal by City Plan (7/4/87/228). Set pavers on m/s. Ground lines over 8% compensated sub-grade

New wet concrete curb line

(EPN)

(4.15) FS

(4.73) TC

Including concrete gutters, "Public Cobble Counter" pattern set on diagonal by City Plan (7/4/87/228). Set pavers on m/s. Ground lines over 8% compensated sub-grade

New wet concrete curb line

(EPN)

(4.15) FS

(4.73) TC

9 PARKING SPACES

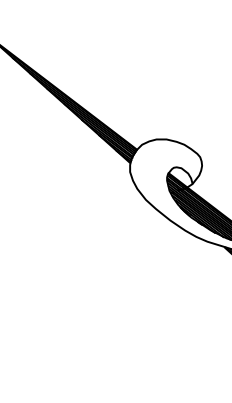
TRASH

New wet concrete curb line

ELECTRICAL ROOM

Including concrete gutters, "Public Cobble Counter" pattern set on diagonal by City Plan (7/4/87/228). Set pavers on m/s. Ground lines over 8% compensated sub-grade

Including concrete gutters, "Public Cobble Counter" pattern set on diagonal by City Plan (7/4/87/228). Set pavers on m/s. Ground lines over 8% compensated sub-grade



WASHINGTON BOULEVARD

50'  
100'  
50'

GRAYSON AVE.

PARTIAL SITE DEVELOPMENT PLAN

8 OF 17

LC.2

SCALE: 1/8"=1'-0"

REF. NORTH

APPROVED

BY P.O.B. BNOV12

DATE NO 0915

JOB NO 0915

SCALE 1/8"=1'-0"

SHEET NO

PROJECT

MARINA GATEWAY PARCEL-95

WASHINGTON BOULEVARD MARINA DEL REY, CALIFORNIA

Jack Hollander & Associates, Inc.

Architecture Planning Interiors

DATE

ISSUED FOR

DATE

REVISION

REGISTERED LANDSCAPE ARCHITECT

UC #1267

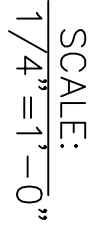
STATE OF CALIFORNIA

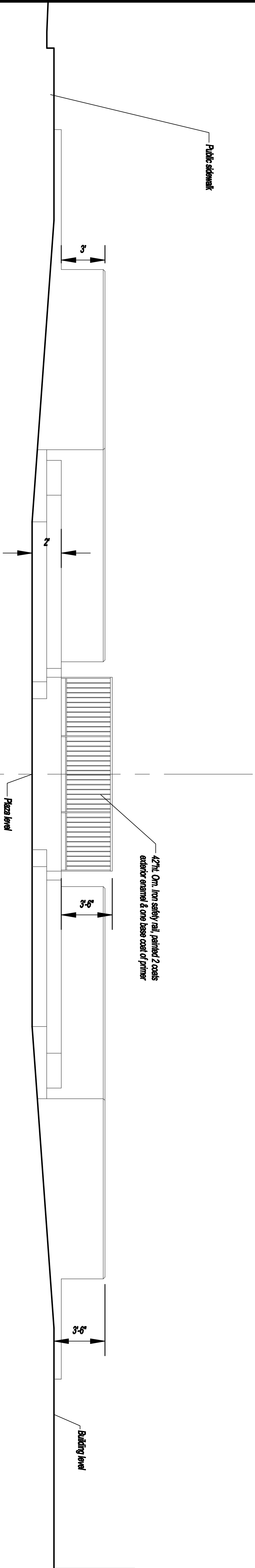
PETER BRANDOW, AIA, ASLA & ASSOCIATES LANDSCAPE ARCHITECTS

20001 SW BIRCH STREET, SUITE 102, NEWPORT BEACH, CA 92660

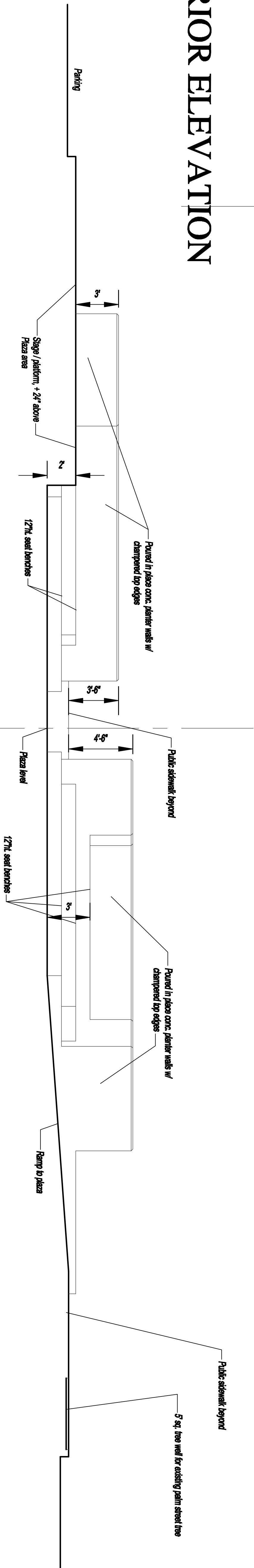
(949) 261-8066 FAX (949) 261-8064 email: pbrandow@BAOL.com



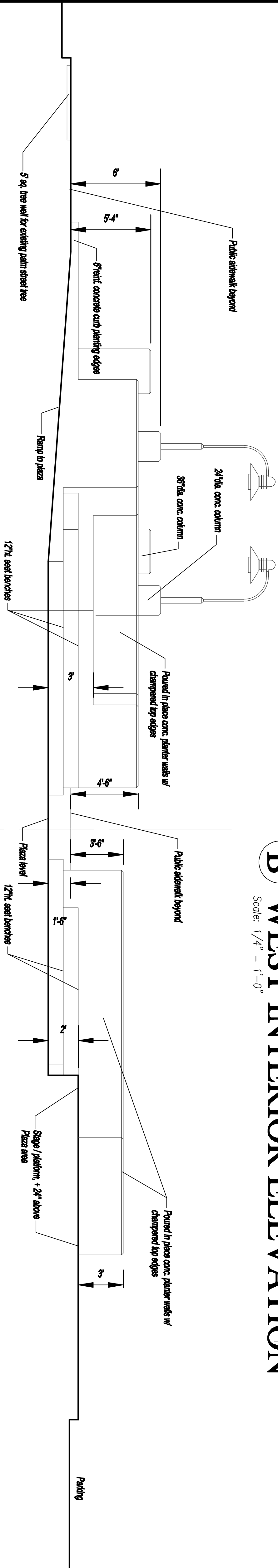




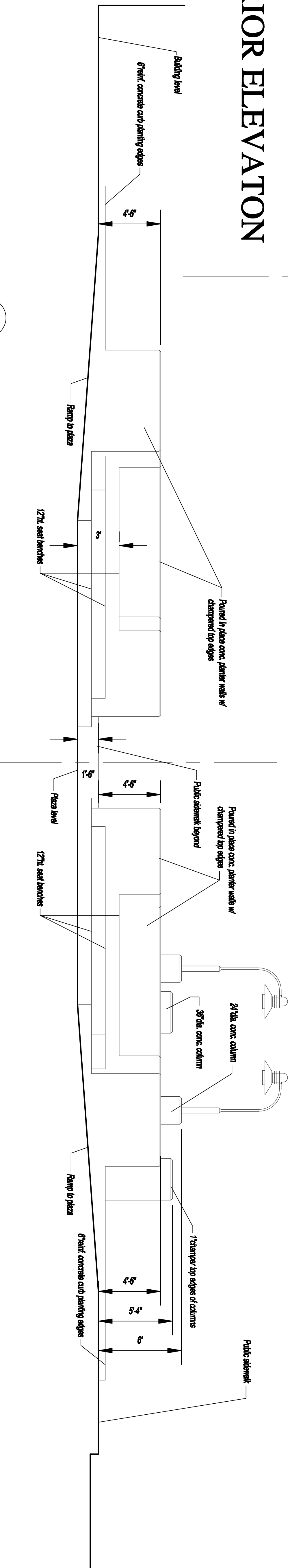
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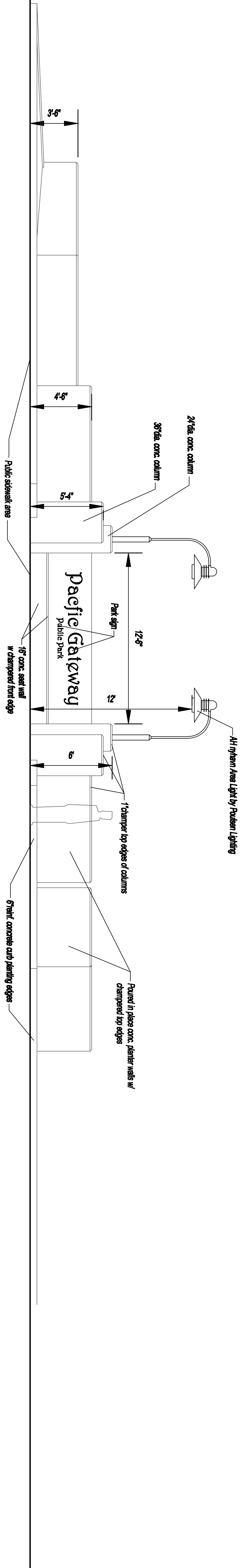
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**C EAST INTERIOR ELEVATION**  
Scale: 1/4" = 1'-0"



**A NORTH INTERIOR ELEVATION**  
Scale: 1/4" = 1'-0"



**E SIGN ELEVATION**  
Scale: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"  
REF: NORTH

PROJECT

MARINA GATEWAY  
PARCEL-95

WASHINGTON BOULEVARD  
MARINA DEL REY, CALIFORNIA



Jack Hollander  
& Associates, Inc.

Architecture Planning Interiors

DATE

ISSUED FOR

DATE

REVISION



PETER BRANDOW, AIA, ASLA & ASSOCIATES  
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(949) 261-6266 C6445 & #1267 fax (949) 261-6264  
email: pbrandow@BAGL.com

SHEET TITLE

PARK PLANTER  
WALL ELEVATIONS

JOB NO. 0915

SCALE: 1/4" = 1'-0"

DRAWN BY P.O.B. 8NOV12

APPROVED BY

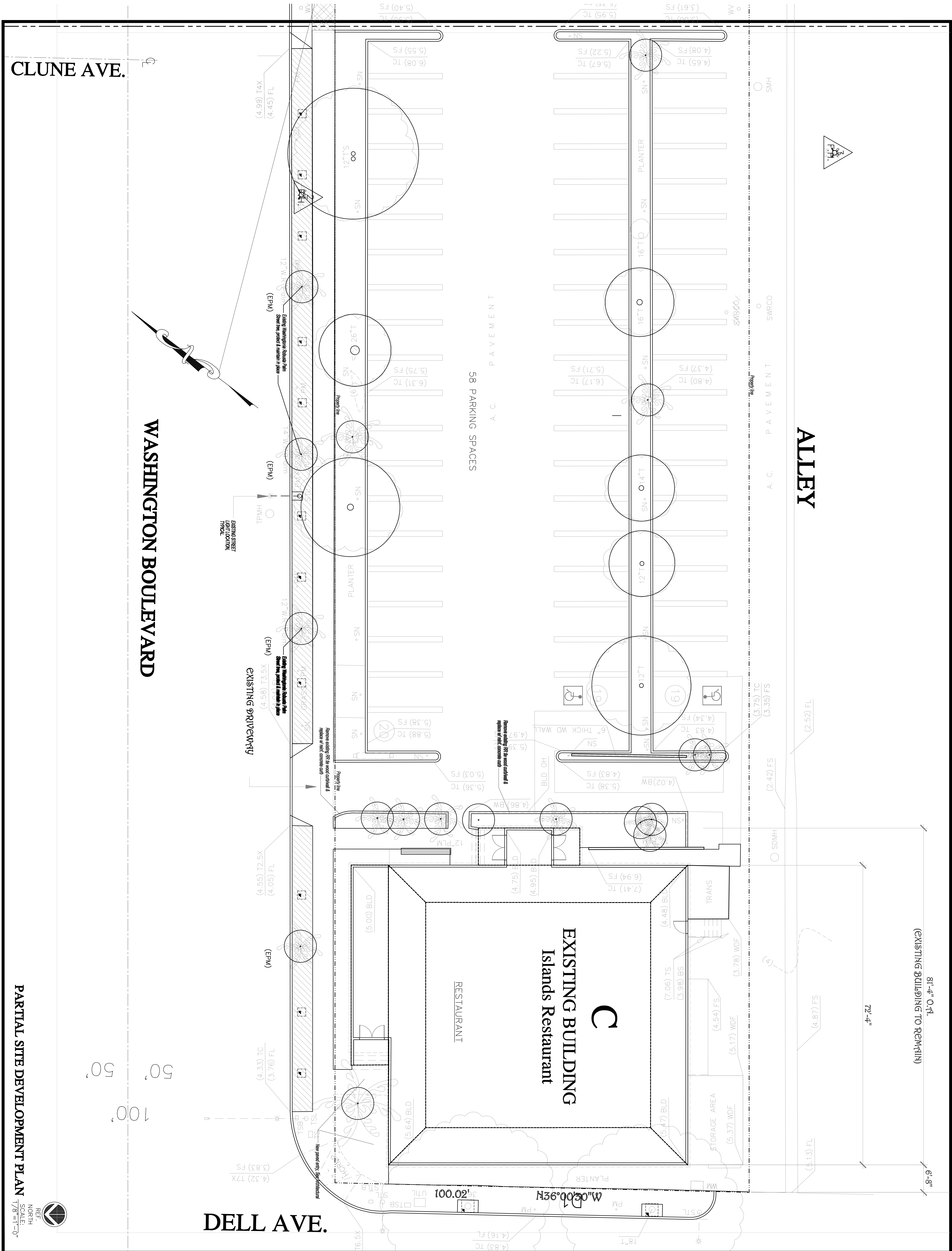
BY

SHEET NO.

LC.4  
10 OF 17







SHEET NO. <b>LC.6</b> 12 OF 17	JOB NO. 0915 DRAWN BY P.D.B. BROWLIZ BY CHECKED BY	SCALE 1/8"=1'±=0"	SHEET TITLE SITE DEVELOPMENT	PROJECT	 Jack Hollander & Associates, Inc. Architecture Planning Interiors	DATE	ISSUED FOR	DATE	REVISION		PETER BRANDOW, AIA, ASLA & ASSOCIATES LANDSCAPE ARCHITECTS 20301 SW BIRCH STREET, SUITE 102, NEWPORT BEACH, CA 92660 (949) 261-6066 CHAS. R. #1267 fax (949) 261-6064 email: pbrandow@BAOL.com
				MARINA GATEWAY PARCEL-95 WASHINGTON BOULEVARD MARINA DEL REY, CALIFORNIA							



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PARTIAL SITE IRRIGATION PLAN

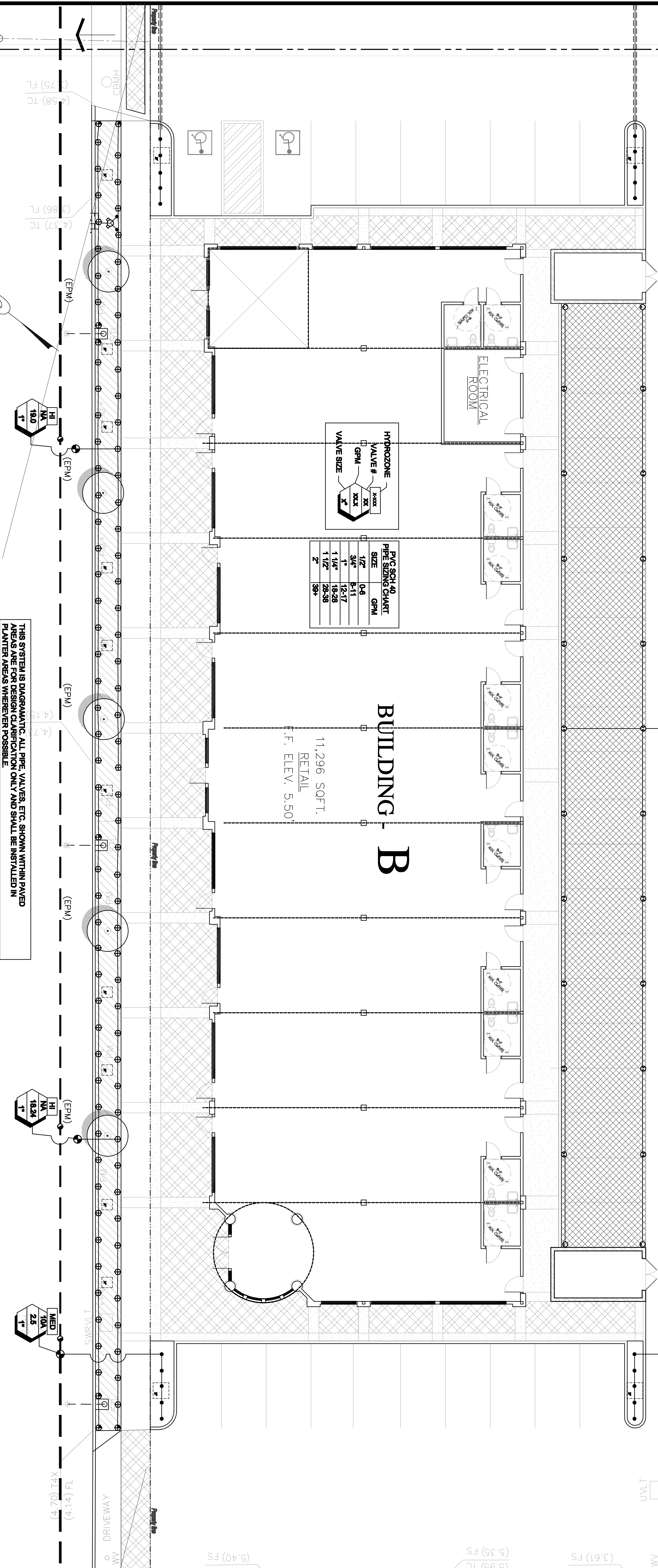
100'

50'

50'



IRRIGATION SCHEDULE									
Valve	Size	Flow	IE	Type	SO.ft	Plant Type	Precip Rate (in/min)	Runtime PF (min)	Nos. of cycle
1A	1"	2.50	.80	BUB	40	SHRUB	.40		
2A	1"	14.32	.71	ROT	2884	GRASSCROTE	.80		
3A	1"	6.0	.80	BUB	116	SHRUB	.40		
4A	1"	24.10	.71	ROT	3740	GRASSCROTE	.80		
5A	1 1/2"	30.94	.80	BUB	982	SHRUB	.40		
6A	1"	9.17	.75	SPR	298	TURF	.80		
7A	1"	20.50	.80	BUB	300	SHRUB	.40		
8A	1"	23.13	.75	SPR	681	TURF	.80		
9A	1"	5.0	.80	BUB	130	SHRUB	.40		
10A	1"	2.50	.80	BUB	49	SHRUB	.40		
1B	1"	20.50	.80	BUB	480	SHRUB	.40		
2B	1"	20.50	.80	BUB	480	SHRUB	.40		
3B	1"	12.50	.80	BUB	293	SHRUB	.40		
4B	1"	14.0	.80	BUB	488	SHRUB	.40		
5B	1"	17.0	.80	BUB	398	SHRUB	.40		
6B	1"	22.0	.80	BUB	470	SHRUB	.40		
7B	1"	20.0	.80	BUB	429	SHRUB	.40		
8B	1"	22.0	.80	BUB	448	SHRUB	.40		



PVC SCH 40 PIPE SIZING CHART		
SIZE	0-6	GPM
1/2"	5-11	12-17
3/4"	8-17	16-28
1"	11-28	20-35
1 1/4"	16-35	38+

BUILDING - B

11,296 SQ.FT.  
RETAIL  
F.F. ELEV. 5.50

THIS SYSTEM IS DIAGRAMATIC. ALL PIPE, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTER AREAS WHEREVER POSSIBLE.

GRAYSON AVE.

WASHINGTON BOULEVARD

ALLEY

DRIVEWAY

14 OF 17

PARTIAL SITE IRRIGATION PLAN

1/8"=1'-0"

14 OF 17

PROJECT

MARINA GATEWAY  
PARCEL-95

WASHINGTON BOULEVARD  
MARINA DEL REY, CALIFORNIA

Jack Hollander  
& Associates, Inc.

Architecture Planning Interiors

DATE	ISSUED FOR

DATE	REVISION

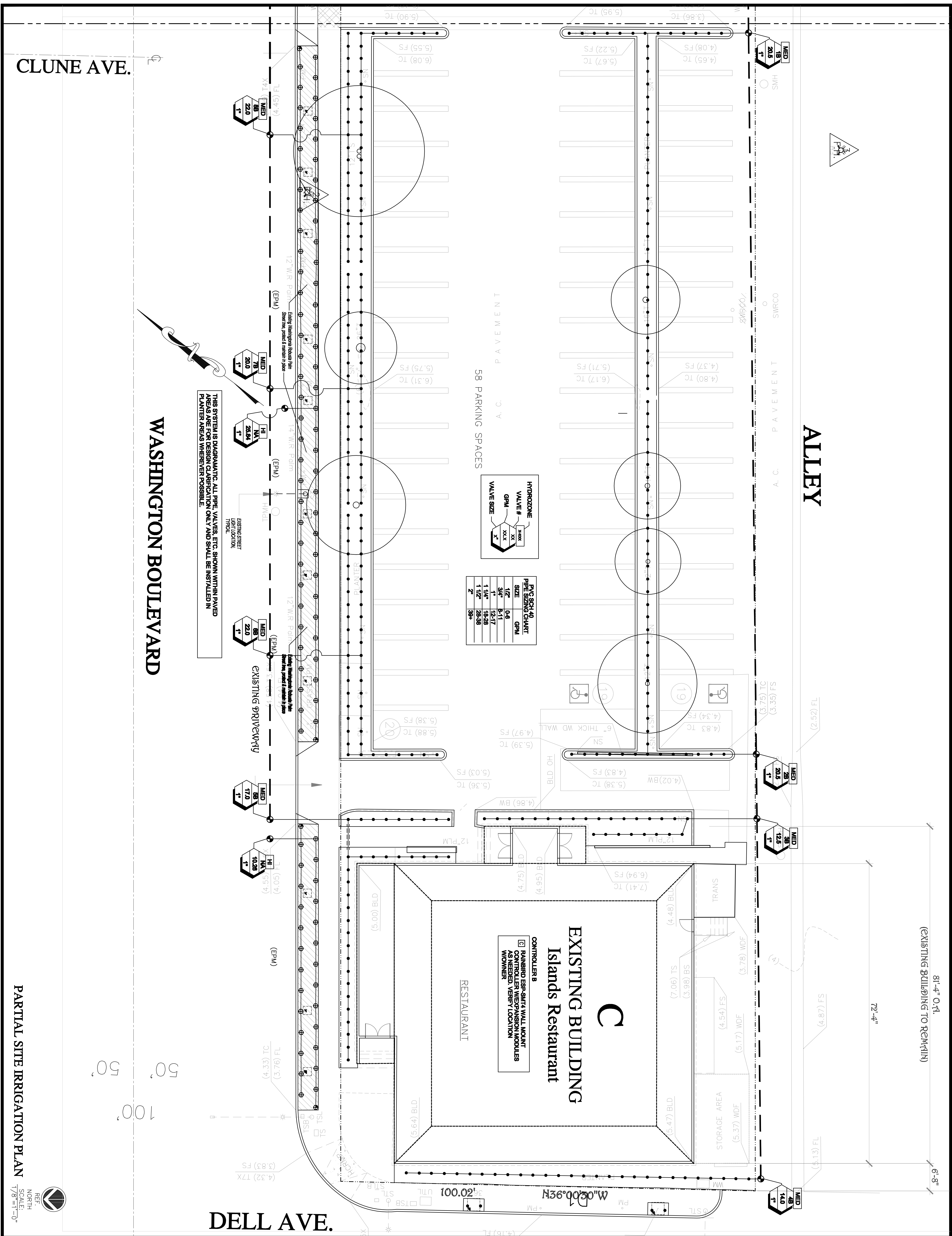
REGISTERED LANDSCAPE ARCHITECT  
STATE OF CALIFORNIA  
LIC. #1267  
#6445  
PETER BRANDOW

PETER BRANDOW, AIA, ASLA & ASSOCIATES  
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email: pbrandow@PBAOL.com

SHEET NO.  
L1.2  
14 OF 17

1/8"=1'-0"

14 OF 17





LANDSCAPE IRRIGATION

1.00 PART 1 – GENERAL

1.01 DESCRIPTION: Division 1 applies to this Section. Provide landscape irrigation as indicated, specified and required.

- A. Work Included in This Section. Principal items include:
- 1. Trenching, laying of pipe and risers, and sprinkler head.
  - 2. Valves and controls.
  - 3. Testing, adjustment, and record drawing.
  - 4. Systems shall efficiently and evenly irrigate all areas, complete in every respect, ready for operation as approved.

B. Related work not included in this section.

- 1. Grading.
- 2. Water service to supply point.
- 3. Landscaping.
- 4. Electrical (115 volt only)

1.02 QUALITY ASSURANCE

- A. Ordinances and Regulations. All local, Municipal and State laws, rules, and regulations governing or relating to any of this portion of the Work, are hereby incorporated into and made a part of these Specifications and their provisions shall be carried out under this Section.
- B. Permits and Observation. Obtain and pay for all permits for the installation or construction of any of the Work included under this section.

1.03 SUBMITTALS

- A. Material List. Submit for approval covering all material in this Section.
- B. Record As-Built Drawings. Conform to following requirements in addition to those in Division 1.

- 1. General. Provide and keep up to date a complete record set of black and white prints which shall be corrected daily and show every change from the original Drawings and Specifications and the locations sizes, and kinds of equipment. Prints for this purpose may be obtained from the Owner at cost. This set of Drawings shall be kept on the site and shall be used only as a record set. These Drawings shall also serve as work progress sheets, and the Contractor shall make neat and legible annotations thereon daily as the Work proceeds, showing the Work as actually installed. These Drawings shall be available at all times for observation and shall be kept in a location designated by the Owner.

- 2. Preparation. In order to complete the Record Drawings in a neat legible manner, the Contractor shall employ a competent draftsman, satisfactory to the Architect, to make new Drawings or to indicate in India Ink the necessary changes on tracing reproductions procured from the Owner at cost.

- 3. Information. Record Drawings shall show the location of all buried valves and electrical control wires mainline, quick coupling valves, P.O.C.'s, and gate valves and shall indicated dimensions from two permanent structures of easily identifiable nature (i.e. corner of building, perpendicular dimensions from paved walks, streets, curbs, etc.)

- 4. Delivery. On or before the date of the final observation the Contractor shall deliver the corrected and completed prints to the Architect. Delivery of the prints will not relieve the Contractor of the responsibility of furnishing further required information that may be omitted from the prints.

- 5. Operation and Maintenance Instructions. Furnish complete operation and maintenance manual covering entire system in bound book form.

1.04 JOB CONDITIONS

- A. Examination of Drawings and site. Before submitting a Bid, each Bidder shall carefully examine the Sprinkler Drawings and Specifications relating thereto; shall visit the site and fully inform himself as to the existing conditions and limitations which apply to the Work, and estimate and include in his Bid a sum sufficient to cover the cost of all items which are required to attain the complete conditions contemplated in the Irrigation Work.

- B. Verification of Dimensions. All plot dimensions are approximate. Before proceeding with any Work, carefully check and verify all dimensions and report any variations to Architect.
- C. Work Space. Erect such fences or guards as are required for the protection of the public and materials, and motion some in good repair until the completion. Remove protective devices from site and restore affected portions of site to acceptable condition at completion of Work.
- D. Damage to Property. Restore to its original condition, without charge, any of the Owner's property that is damaged by any of the Contractor's operations.

1.05 GUARANTEE. Refer to Division 1 for form of guarantee. Guarantee entire sprinkler system, including all Work done under this Contract, against all defects and faults of material and workmanship, and sustain in perfect working order for one year from Date of Completion without expense to Owner. Materials used shall carry a one year manufacturer's guarantee over and above Contractor's guarantee. If, during guarantee period, settlement occurs and adjustments in pipes, valve and sprinkler heads, planting areas or paving are necessary to the proper level of the permanent grades, the Contractor, as part of the Work and under this Contract, shall make all adjustments without extra cost to the Owner. Contractor will not be held responsible under the above guarantee for damage arising from acts of God, vandalism, negligence, or inadequate maintenance by Owner during his maintenance period.

2.00 PART TWO – PRODUCTS (OVERHEAD SPRAY SYSTEMS)

2.01 MATERIALS. Whenever any material is specified by name and number thereof, such specifications shall be deemed to be used for the purpose of facilitating a description of the materials establishing quality. No substitutions will be permitted. All materials shall be new and the best of their class and kind. All materials of like-type or related function shall be of one manufacturer.

- A. VALVES, COCK, STOPS, ETC. Provide valves as indicated, specified, or required for proper control of piping systems in which they are incorporated. Main shut-off valves shall be gate valves. Valves shall be bronze or iron body--bronze mounted.

- B. Yard Boxes.

- C. GATE VALVES. A plastic box and cover and lock lid of adequate size to allow maintenance freedom shall be installed over each main shut-off valves in the system. Set box square with building.

- D. REMOTE CONTROL VALVES. Install at finished grade a plastic box with lock--lid over each remote control valve. "R.C.V." shall be branded on the cover of each box. Set box square with building.

- E. PIPE COMPOUND--NON--FERROUS METAL JOINTS. For all threaded make-up on metal to metal joints shall be pure lead base paste type.

- F. PLASTIC PIPE

- 1. Type. New normal impact rigid polyvinyl chloride (PVC), 1120 pipe extruded from 100% virgin materials, pipe OD, sizing conforming to AWWA iron pipe sizing (IP-S.), National Sanitation Foundation approved, wall thickness schedule as indicated.

- 2. Identification. Furnish pipe continuously and permanently marked with manufacturer's name, nominal pipe size, wall thickness (schedule number) or working pressure, type of material (PVC), NSF per IB-4 approved, and date of extrusion.

- 3. Physical Specifications of the Society of Plastic Industries for this type of pipe are a part of this specification.

- 4. Pipe Doting shall be done in conjunction with records to be had by the manufacturer for two years, covering quality control tests, raw material batch number and any other information deemed necessary by the manufacturer.

- 5. Plastic Pipe Fittings. Polyvinyl chloride (PVC) manufecture, medium wall, and of the IPS solvent welded type. Use heavy wall fitting where one or more outlets are threaded.

- 6. Plastic Pipe and Fittings. By Losco Industries, or approved equal, schedule 40.

- G. PIPE COMPOUND FOR PVC. Threaded connections, including PVC to steel make-up, shall be best grade teflon tape. PRIMER – PVC. For PVC solvent weld connections shall be chemically compatible with the pipe, fittings and primer.

- I. SPRINKLER HEADS. As noted on irrigation Plans.

- J. REMOTE CONTROL VALVES – ELECTRIC. Type compatible with Controller as shown on the Irrigation Plans, "normally closed" type, designed so control valve and solenoid is not energized when valve is in closed position. Valves shall automatically close in event of electrical power failure or due to breakage of pilot lines.

- 1. Manual Override. Provide for manual operation prior to electrical connection.
- 2. Solenoid Coils. Operate on 24 volt AC, encapsulated in epoxy resin.

- K. AUTOMATIC SPRINKLER CONTROLLERS. Of make as noted on Irrigation Plans, constructed to operate normally closed type remote control valves with following functions:

- 1. Controllers shall provide for automatic sequencing of 24 volt electric stations. The automatic cycle may be manually operated at any time. Individual valve timing may be changed without affecting the remainder of the cycle. When a station is set to be omitted, there shall be no time delay between the operation of the two adjacent stations.

- 2. Cabinets. Equip controller with weather--proof cabinet and one set of keys.

- L. ELECTRICAL SUPPLY TO AUTOMATIC CONTROLLERS. 115 volts, 60 cycle, single phase, one ampere. Include a separate breaker switch and all pertinent materials such as conduit, wire, junction boxes, etc. Submit for approval the types of all such equipment to be used, including size of wire. Conform to National and local governing Electrical Codes.

- M. CONTROL WIRE:

- 1. Pilot lines and/or, "common" wire connecting remote control valve to automatic controllers shall be single strand copper, UL, approved type UL-F, with minimum 4/64" PVC coating, 600 volt, 75 degrees centigrade. All 24 volt conductors shall have minimum earth cover of 18" or as required by governing Electric Codes. Minimum of 14G.
- 2. Control Wire Connectors. Reinforced "Pentite" connectors, or approved equal.

- N. BACKFLOW PREVENTER. As shown on Drawings.

- O. SPECIAL REQUIREMENTS FOR METAL PIPING.

- 1. Pipe. New metal pipe, scale--free, standard weight Schedule 40 galvanized steel as detailed.
- 2. Fittings. Medium pattern, bonded, galvanized malleable iron, threaded pipe fittings.
- 3. Bushings or Close Nipples. Not allowed.

3.00 PART THREE – EXECUTION

- A. EXCAVATION AND BACKFILL. Do all necessary excavation for installation of Work of this Section. After Work has been installed, flushed, observed and approved, backfill excavations with fine materials. Compact machine trenches to 90% compaction, using manual or mechanical tamping devices. Compact trenches for lateral (non--pressure) piping to equal compaction of existing adjacent undisturbed soil and leave in a firm unyielding condition but not to exceed 90% compaction. Finish trenches flush with adjoining grade.

- 1. Flooding of Trenches. Permitted only with prior approval of Owner.
- 2. Mechanical Trench Diggers. Approved type to cut trenches with straight sides, trenches no wider at any point than is necessary to lay pipe or as approved by Owner.
- 3. Sidewalk Damage. Obtain permission to cut or break sidewalks or concrete from Owner. Hydraulic driving under asphaltic concrete paving is not permitted.

3.01 PIPE INSTALLATION

- A. Pipe Lines. Locations and sizes shown or specified and of materials and workmanship specified. Assemble pipes

- free from dirt and pipe scale, reamed and burrs removed. Flush main line supply and test for leaks before backfilling, with control valves in place and before lateral pipes are connected to valves. Flush each section of lateral pipe before sprinkler heads are attached.
- B. Metal Pipes. Carefully clean off scale, sand, dirt, etc., before installation. Ream ends of threaded pipe out full size with a long taper reamer, partially bell-mouthed and perfectly smooth. Make offsets with fittings. Do not bend pipe at any time. Flush water lines before heads or control valves are installed.

- 1. Threads. Cut with sharp clean dies to conform to ANSI B2.

- 2. Joints in Screwed Piping. Make by applying on approved oil base pipe joint compound on male threads only. Remove excessive joint compound.

- C. Laying of Lines. Lines shall be staked and installed in the locations shown on the drawings. Discrepancies between drawings and site shall be brought to the attention of the architect prior to trenching. Do not exceed maximum spacings shown on drawings, nor exceed the GPM on the pipe sizes shown. Assemble all pipes free from dirt and scale, ream and deburr. Piping and electrical sleeves under concrete shall be set in place prior to pouring work. If pipe must be laid after pouring work is completed, it shall be done by jacking, boring or hydraulic driving. If Cutting or breaking of any piping is necessary, it shall be done and replaced with lay material at the expense of the Contractor. Obtain approval of Architect prior to any cutting or breaking. Hydraulic driving will not be permitted under asphalt paving. All lines set in place under paving shall extend 18" minimum beyond such paving and be capped handtight.

- 1. Relation of Pipes. Do not install any line parallel to and directly over another line.
- 2. Plastic Pipe Installation. Install to conform with standards of pipe manufacturer's specifications, which are a part of this specification.

- D. ASSEMBLY OF PVC PIPE. Handle with care when loading, unloading, transporting and storing to avoid damage. Store pipe and fittings under cover before using. Transport in vehicle with sufficient length to carry pipe flat and fully supported. Store pipe in some manner. Notify Architect when each pipe and fitting shipment reaches the site for his observation. Rejected materials shall be immediately removed from site and replaced with new shipment of different batch number, at no additional cost to the Owner.

3.02 FLUSHING OF LINES.

Matns shall be flushed before attaching remote control valves and with pipe, center loaded. All water being discharged shall be temporarily piped up and out of the trenches. Trenches to be kept dry for pressure tests to follow. Install all valves after approval of flushing procedures by the Architect.

3.03 BACKFLOW PREVENTER. As required by local or state ordinance, provide backflow preventer to protect the domestic water supply against back-siphonage from lawn sprinkler system, sizes and type as indicated on the drawings. Install back--flow devices in accordance with Plumbing Code having jurisdiction. No backflow device shall be permitted standing in pedestrian or vehicular traffic.

3.04 CONTROL WIRE – 24 VOLT INSTALLATION. Provide a separate wire from controller to each valve, or as indicated. Provide a common neutral wire from controller to each valve. Common neutral wire shall be with white insulation and pilot wires shall have black installation. Size wires as noted on Drawings. Where codes allow, no conduit is required for wire and it shall be laid in trenches provided for piping, laid to side of piping.

- A. Piping. Bottom of finished trench shall be free from stones or other material which might injure conductor insulation. Backfill material placed immediately over conductors shall be select material especially free from stones or other material that might injure insulation. Splices shall be observed by Architect and remote control valves tested for operation to backfill. Cover splicing between controller and valve with a valve box. If possible, avoid splicing of wire between controller and valve.

- B. Splicing. Use Pentite connector and connect wire as per manufacturer's recommendations.

3.05 AUTOMATIC CONTROLLER. Install in location shown after verifying exact positioning with Architect. Install withs plumb and in manner recommended by manufacturer.

3.06 SPRINKLER HEAD INSTALLATION. In open areas, install at least 3" above finished grade at time of installation. Heads along sidewalks shall be positioned with head "frowns" see in 6" from edge of pavement, header board, curb, etc., and shall set flush to finished grade at time of installation. Within 5 days of notification by Owner, make whatever adjustments of pipe, fittings, valves or sprinkler heads are necessary to bring system to proper level of permanent grade.

- A. Along Walks and Drives. Set lawn sprinkler heads flush along walks and driveways, where finished grade level is established, at time of installation.

- B. Shrub Areas. Install sprinkler heads in shrub areas 12" above surrounding grades or as otherwise detailed. Where high shrubs are planted, install longer risers or as directed by Architect.

3.07 REDUCED IRRIGATION PLAN. Provide a 40 mil plastic laminated irrigation record drawing reduced to fit inside the controller cover, color coded to indicate valve zones.

3.08 INSTRUCTIONS. After systems are complete, instruct Owner in operation and maintenance of systems.

- A. PRESSURE TESTS. Perform all hydrostatic tests in presence of the Architect after flushing lines. Maintain 150 pounds on main lines for a minimum of two hours with all air expelled from line. All leaks shall be corrected in mechanical manner without use of epoxy fillers or other filler compounds. Provide all equipment for tests including force pump and pressure gauges.

3.09 SITE CLEANING. Clean all debris from site, remove all storage rooms and all other constructions and make site ready for planting work to follow. Work or debris not cleared for landscape work may be backchaged to this Irrigation Installer.

3.10 OBSERVATIONS. Observations will be performed by representatives of the Architect at the following times and at random visits when the observer may be on the site. Contractor shall not cover any work prior to observation by the Architect.

- A. GENERAL. All observations called for by the Contractor shall be requested in writing at least two working days prior to the anticipated observation. All work shall meet the approval of the Architect or be rectified by the Contractor to a condition that does meet his acceptance and at no additional cost to the Owner. If the Contractor calls for observations and is not ready for the observations, he shall be back-charged hourly, including travel time for all members of the team of observers involved.

- 1. Rework Conference. To be conducted prior to any irrigation work under this Contract.
- 2. Observation of flushing.
- 3. Observation of pressure tests.
- 4. Final observation of the completed installation, including coverage test.

- B. ITEMS FURNISHED. At time of final acceptance, Contractor shall deliver to the Architect:
- 1. One set of keys for automatic controller.

- 2. Two special wrenches suitable for operating each type of valve installed under this Contract.
- 3. Two tools for disassembly and assembly, or adjustment, of each type equipment used in this installation requiring such special tools.
- 4. Two valve box keys.
- 5. Operating instructions and parts lists, as printed by each manufacturer, of each type equipment included in this contract. Refer to "material" part of the specifications and legend on drawings.
- 6. Record drawings, and 40 mil plastic laminated record drawings installed in controller(s).

SHEET TITLE  
IRRIGATION  
SPECIFICATIONS

JOB NO 0915  
SCALE  
NO SCALE

DESIGN P.O.B. 21JAN13  
BY  
APPROVED –

SHEET NO  
LI.4  
16 OF 17

PROJECT

MARINA GATEWAY  
PARCEL-95  
WASHINGTON BOULEVARD  
MARINA DEL REY, CALIFORNIA

ISSUED FOR

DATE

REVISION

DATE



